



Request for Comments

Case Name:	Baker Apartments Final Development Plan
Case Number:	PRC2016-00007

May 17, 2016

Adams County Planning Commission is requesting comments on the following:

Request approval of a Major Subdivision (Final Plat) and Final Development Plan (FDP) for a multi-family residential development of 142 units.

This request is located at 3555 W 64TH AVE

The Assessor's Parcel Number is 0182505300004, 0182505320005, 0182505320006, 0182505320008,
0182505320009

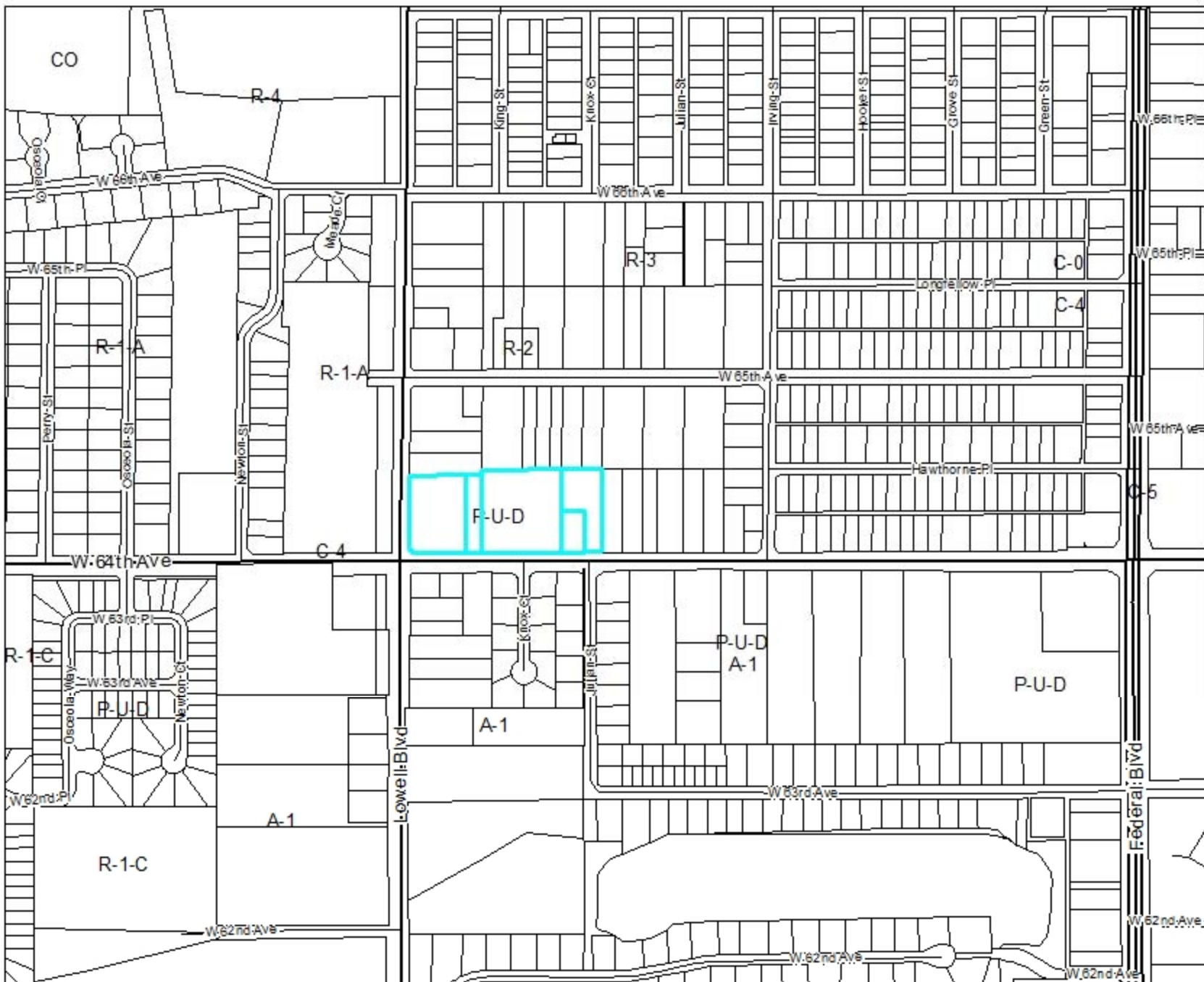
Applicant Information: DERRELL SCHREINER
155 S MADISON ST, SUITE #326
DENVER, CO 80209

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by **06/7/2016** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins
Case Manager



LEGEND

- ★ Special Zoning Conditions
 - 3 Section Numbers
 - Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - ⊞ Airport Noise Overlay

Baker Apartments
PRC2016-00007



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

04/20/16

Re: **64TH & Lowell Final Development Plan**

EXPLANATION OF PROJECT-64th and LOWELL APARTMENTS

DelWest has entered into a contract with SD#50 to purchase and develop the 4.3±-acres former Baker School site for multi-family units, subject to County approvals. Older single family homes about the property on the east and south across W. 64th Avenue in R-2 zoning, to the west across Lowell Blvd. is an open drainage channel after which is vacant C-5 and R-1-A zoned property, and to the southwest across Lowell Blvd. and 64th Avenue is vacant C-4 zoned and A-1 zoned properties with some older greenhouses.

DelWest is proposing to construct 4 3-story buildings with 142 apartments (72±-1 bedroom and 70±-2 bedroom units), a community room, fitness center, management/rental office, and 244± uncovered parking spaces (minimum of 1.7 parking spaces/unit). Development would include extensive landscaping, an on-site detention pond, and landscaping of a small parcel at the corner of 64th & Lowell that can't be included as part of the site's development plan until ownership issues are resolved. Exterior of the buildings would be earth-tone exterior, and the buildings have been placed so that properties to the north are not shadowed as they formerly were when the school's wall was virtually on the north property line. The FDP will provide details on exterior appearance, landscaping, fencing, etc. to ensure this development will be compatible and beneficial to the residents of the area.

Other information in regard to the proposed development are:

1. Water and Sewer Services – Crestview Water and Sanitation District.
2. Gas and Electric Utility Services – Xcel Energy.
3. Fire Protection – Adams County Fire Protection District. The Fire District will approve all fire hydrant locations, and all home construction will follow the Fire and Building Code.
4. Drainage/Floodplains – The property is not within any 100-year floodplain. Previously the school site didn't detain storm any water runoff, but with this development, excess run-off will be detained and released at historic rates to lessen downstream impacts by the creation of small detention pond in the southeast corner of the site.
5. Soils-Geologic Conditions – A preliminary geo-technical study indicates suitability for development, subject to proper engineering controls to mitigate certain concerns, mainly the presence of some expansive soils. Prior to construction, extensive soil/geologic testing will be undertaken to determine road construction standards and home foundation designs.
6. Access and Public Transportation -The property fronts on Lowell Blvd. and W. 64th Avenue, providing good access to major roads and highways in the area. The site is also located within 1 mile of 3 commuter rail stations providing an incentive for less use of the automobile.
7. Park/Recreation Facilities – The Site is also within 1 mile of 3 major open space amenities – Baker Reservoir, Clear Creek Trail, and the future Hyland Hills Park south on Lowell Blvd.

In summary, the proposed multi-family development at this location is compatible and not detrimental with the surrounding properties, the Comprehensive Plan, or to the health, safety, or welfare of the inhabitants of the area, and is consistent with the purposes and requirements of the County's Standards and Regulations. DelWest requests a favorable recommendation from the County Staff and Planning Commission, and approval by the Board of County Commissioners to develop this property as proposed in these applications for Final Development Plan and Preliminary Plat that can help revitalize and redevelopment of the area.

Please call me should you require any further information. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Harsh Parikh", with a stylized flourish extending to the right.

Harsh Parikh
President
Parikh Stevens Architects

BAKER SCHOOL APARTMENTS FINAL PLAT

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

VICINITY MAP

NO SCALE



LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING TRACTS 28, 29 AND A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION, A SUBDIVISION PLAT RECORDED IN PLAT BOOK 3, AT PAGE 58 IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TOGETHER WITH A PORTION OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX AT WEST END, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 5;
THENCE N 89°50'20" E, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 136.00 FEET;
THENCE N 00°51'37" E, PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 30.00 FEET TO A POINT ON THE NORTH LINE OF THE WEST 64TH AVENUE RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT AND THE POINT OF BEGINNING;

THENCE N 00°51'37" E, A DISTANCE OF 130.00 FEET;
THENCE S 89°50'20" W, A DISTANCE OF 106.00 FEET, TO A POINT ON THE EAST LINE OF THE LOWELL BOULEVARD RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT;
THENCE N 0°51'37" E, ALONG THE EAST LINE OF SAID LOWELL BOULEVARD RIGHT-OF-WAY AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 271.00 FEET TO THE SOUTHWEST CORNER OF TRACT 27, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;
THENCE ALONG THE SOUTH AND EAST LINES OF SAID TRACT 27, THE FOLLOWING TWO (2) COURSES:
1. N 89°50'20" E, A DISTANCE OF 258.60 FEET;
2. N 00°51'37" E, A DISTANCE OF 19.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT 28, ALSO BEING THE SOUTHWEST CORNER OF TRACT 25, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE N 89°50'20" E, ALONG THE NORTH LINES OF SAID TRACTS 28, 29 AND 30, A DISTANCE OF 435.62 FEET TO THE NORTHEAST CORNER OF SAID TRACT 30;
THENCE S 00°51'37" W, ALONG THE EAST LINE OF SAID TRACT 30, A DISTANCE OF 290.00 FEET TO THE NORTHEAST CORNER OF THAT DEED RECORDED IN BOOK 1852, AT PAGE 82, SAID ADAMS COUNTY RECORDS;
THENCE ALONG THE NORTH AND WEST LINES OF SAID DEED THE FOLLOWING TWO (2) COURSES:
1. S 89°50'20" W, A DISTANCE OF 63.21 FEET;
2. S 00°51'37" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY;

THENCE S 89°50'20" W, ALONG THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY, A DISTANCE OF 525.02 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 188,910 SQUARE FEET, OR 4.337 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND TRACTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF BAKER SCHOOL APARTMENTS AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE STREETS AND EASEMENTS AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.

LAND AREA SUMMARY

TYPE	AREA (SF)	AREA (AC)
LOT 1	172,537	3.961
TRACT A	16,373	0.376
TOTAL	188,910	4.337

NOTES:

- ACCORDING TO COLORADO LAW YOU **MUST** COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES. CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. 01330-56135, WITH AN EFFECTIVE DATE OF MARCH 02, 2015 AT 8:00 AM AND TITLE COMMITMENT ORDER NO. 01330-46203 - AMENDMENT NO. 2, WITH AN EFFECTIVE DATE OF APRIL 01, 2015 AT 5:30 PM. BOTH PREPARED BY STEWART TITLE INSURANCE COMPANY.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- BEARINGS FOR THIS FINAL PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX AT WEST END, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
- THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT.
- DATE OF FIELD SURVEY: JANUARY 2015
- THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 188,910 SQUARE FEET, OR 4.337 ACRES, MORE OR LESS.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
- LOT 1 IS FOR RESIDENTIAL, MULTI-FAMILY DEVELOPMENT.
- TRACT A SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS, ITS SUCCESSORS AND ASSIGNS.
- A DRAINAGE AND ACCESS EASEMENT OVER AND ACROSS TRACT A IS HEREBY GRANTED TO ADAMS COUNTY FOR THE PURPOSES OF EMERGENCY REPAIRS.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS MUST BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.

OWNER:

WEST 64TH INVESTMENTS, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME

THIS ___ DAY OF _____, A.D. 20___

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION ON THIS ___DAY OF _____, 20___ AD AT ___O'CLOCK __.

CHAIRMAN _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ___DAY OF _____, 20___ AD AT ___O'CLOCK __.

CHAIRMAN _____

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED ON JUNE 30, 2015

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC

ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ___ .M. ON THE ___ DAY OF _____, 20___.

COUNTY CLERK AND RECORDER

BY DEPUTY: _____

FILE NO. _____
MAP NO. _____
RECEPTION NO. _____

REVISIONS:					
DATE:					
DRAWN BY:					
CHECK BY:					

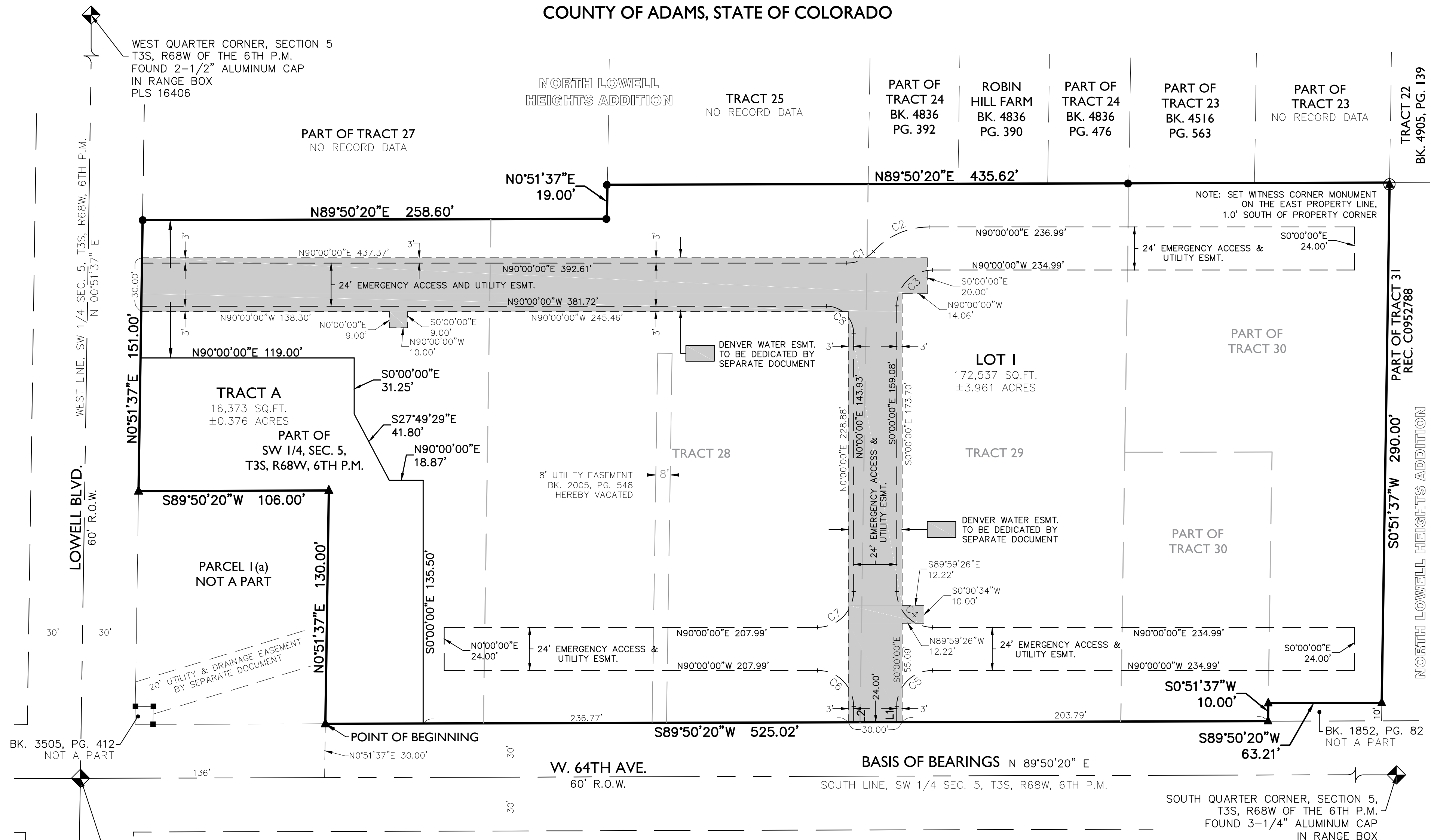
**CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING**
 3681 783rd Ave.
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

BAKER SCHOOL APARTMENTS - FINAL PLAT
 SW 1/4, SEC. 5, T 3 S, R 68 W, 6th PM
 ADAMS COUNTY, COLORADO

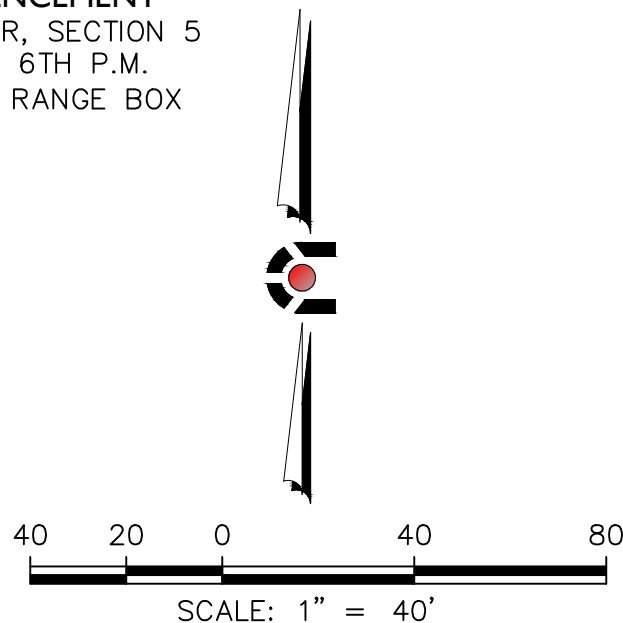
PROJ. MGR.	DF
PROJ. ENG.	
DRAWN BY:	JCA
DATE:	4.28.16
SCALE:	

BAKER SCHOOL APARTMENTS FINAL PLAT

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



POINT OF COMMENCEMENT
SOUTHWEST CORNER, SECTION 5
T3S, R68W OF THE 6TH P.M.
FOUND 1" AXLE IN RANGE BOX



- LEGEND**
- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
 - SET #5 REBAR WITH 2" ALUMINUM CAP STAMPED "1" W.C. SOUTH PLS 38151"
 - FOUND 1.5" ALUMINUM CAP PLS 16406
 - FOUND NAIL AND BRASS TAG PLS 7276
 - ◆ FOUND SECTION CORNER, AS NOTED

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	8.87	S0° 00' 00"E
L2	8.94	N0° 00' 00"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	16.60	20.00	47°33'10"	16.13	N66°13'25"E
C2	34.86	42.00	47°33'10"	33.87	N66°13'25"E
C3	31.42	20.00	90°00'00"	28.28	S45°00'00"W
C4	31.42	20.00	90°00'00"	28.28	S45°00'00"E
C5	31.42	20.00	90°00'00"	28.28	S45°00'00"W
C6	31.42	20.00	90°00'00"	28.28	N45°00'00"W
C7	31.42	20.00	90°00'00"	28.28	N45°00'00"E
C8	23.56	15.00	90°00'00"	21.21	N45°00'00"W

DATE: _____	DRAWN BY: CHECK BY: _____
REVISIONS:	
NO.	DESCRIPTION

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
SURVEYING
LAND SURVEYING

CORE
CONSULTANTS

3633 ZEEB AVE.
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

BAKER SCHOOL APARTMENTS - FINAL PLAT

SW 1/4, SEC. 5, T 3 S, R 68 W, 6th PM

ADAMS COUNTY, COLORADO

PROJ. MGR. DF

PROJ. ENG. _____

DRAWN BY: JCA

DATE: 4.28.16

SCALE: 1" = 40'

SHEET
2 OF 2

14-053

BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

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THENCE ALONG THE EAST AND NORTH LINES OF SAID DEED THE FOLLOWING TWO (2) COURSES:

- N 00°51'37" E, A DISTANCE OF 10.00 FEET;
- S 89°50'20" W, A DISTANCE OF 10.00 FEET, TO A POINT ON THE EAST LINE OF THE LOWELL BOULEVARD RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE N 0°51'37" E, ALONG THE EAST LINE OF SAID LOWELL BOULEVARD RIGHT-OF-WAY AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 271.00 FEET TO THE SOUTHWEST CORNER OF TRACT 27, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

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- S 00°51'37" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY;

THENCE S 89°50'20" W, ALONG THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY, A DISTANCE OF 621.01 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 202,588 SQUARE FEET, OR 4.651 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND TRACTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF 64TH & LOWELL AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE STREETS AND EASEMENTS AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.

GENERAL NOTES

- SITE IS TO BE ZONED PUD.
- FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE ADAMS COUNTY FIRE DEPARTMENT
- THIS PLAN IS SUBJECT TO A LANDSCAPE PLAN AS PART OF AND APPROVED IN THIS DOCUMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- THE SITE SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST. ALL OTHER TIME THE SITE SHALL BE LANDSCAPED WITHIN FORTY-FIVE DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL, AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEMS. TREES AND SHRUBS WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/ GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY ADAMS COUNTY.

PROJECT TEAM

APPLICANT

DelWest Development Corp
155 South Madison St. Suite 326
Denver, Colorado 80209
Contact: Derrell Schreiner
(303)-570-0910

ARCHITECT

Parikh Stevens Architects
3457 Ringsby Court, Suite 209
Denver, Colorado 80216
Contact: Alan Scheer
(303) 825-2595

CIVIL ENGINEER

Core Consultants
1950 W Littleton Blvd. Suite 109
Littleton, Colorado 80120
Contact: David Forbes
(303) 703-4444

LANDSCAPE ARCHITECT

PCS Group, Inc.
#3 Independence Plaza B-180
1001 16th Street, Denver CO 80265
Contact: Jim Ivy
(303) 531-4905

ELECTRICAL ENGINEER

Front Range Electrical Engineering
3333 S. Wadsworth Blvd. Suite D210
Lakewood, CO 80227
Contact: Jacob Bennefield
(303) 242-1572

APPROVALS

Planning Commission Approval:

Approved by the Adams County Planning Commission this _____ day of _____, 20____

Chairperson _____

Board of County Commissioners Approval:

Approved by the Adams County Board of Commissioners this _____ day of _____, 20____

Chairperson _____

CLERK & RECORDER'S CERTIFICATION

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____m. on the ____day of _____, 20____.

County Clerk and Recorder _____

By Deputy: _____

The Preliminary Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado on the ____day of _____, 20____, File No.____, Map No. _____, Reception No._____.

ADDITIONS & DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

STAFF REVIEW

Approved as to form by: _____

Director of Planning and Development _____

County Attorney _____

OWNER'S SIGNATURE

WE, THE UNDERSIGNED, SHALL COMPLY WITH ALL REGULATIONS CONTAINED IN THE ADAMS COUNTY CODE. THE FOLLOWING SIGNATURES CONSTITUTE ALL OWNERS AND HOLDERS OF DEEDS OF TRUST FOR LAND AND STRUCTURES INCLUDED IN THIS PLAN.

OWNER: _____

BY: _____ DATE: _____

STATE OF _____

CITY OF _____

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____ OF _____ ON THIS _____ DAY OF _____, 2016

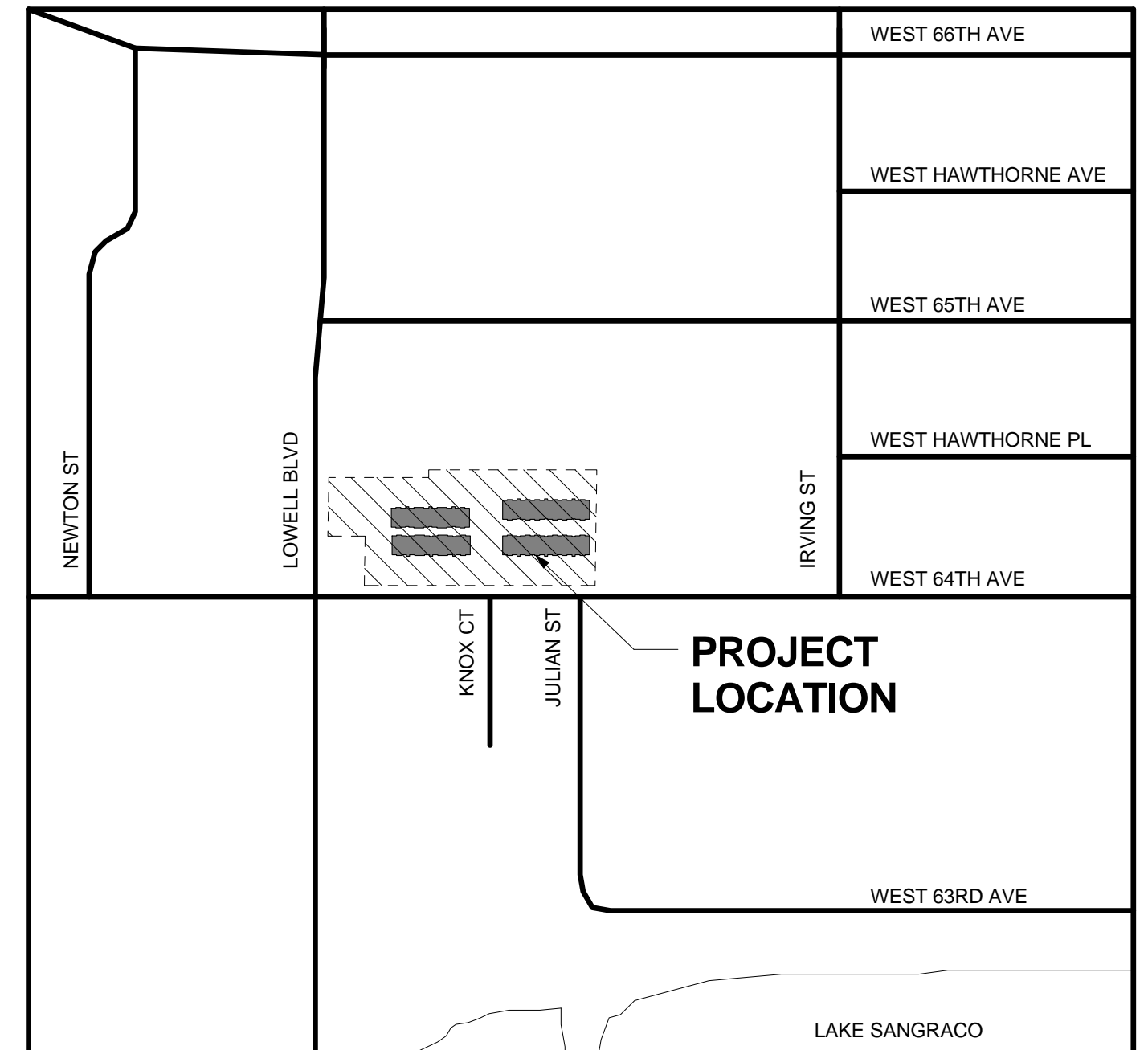
WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: _____

SURVEYOR'S SIGNATURE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THE SURVEY SHOWN HEREON WAS PREPARED BY ME OR UNDER DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF IS TRUE AND ACCURATE.

FOR AND ON BEHALF OF _____



NORTH
VICINITY MAP
SCALE: 1" = 400'-0"

SHEET INDEX

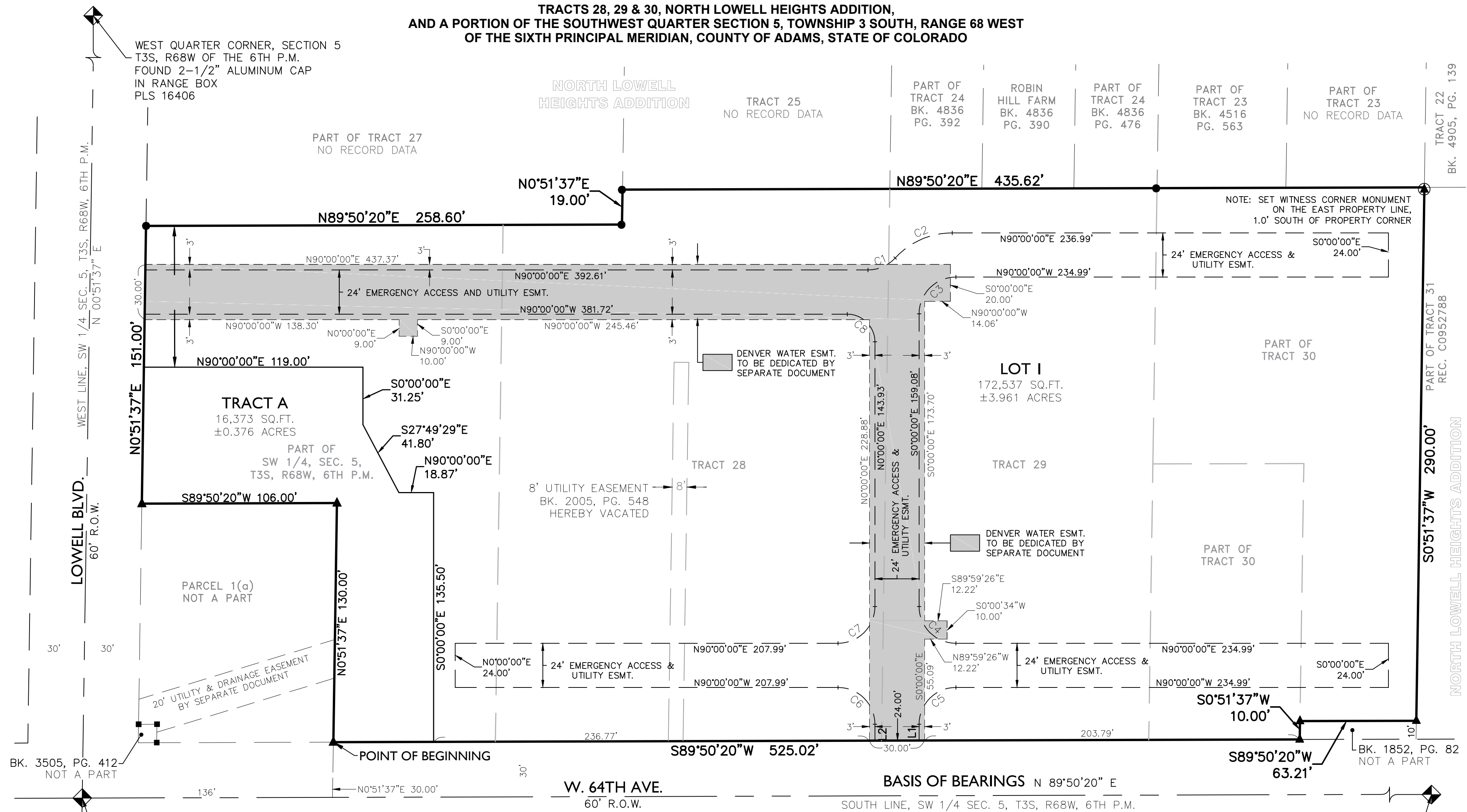
NO.	SHEET NAME
1 OF 14	COVER SHEET
2 OF 14	SURVEY
3 OF 14	GRADING & UTILITIES
4 OF 14	SITE PLAN
5 OF 14	LANDSCAPE PLAN
6 OF 14	ENLARGED LANDSCAPE PLAN
7 OF 14	ENLARGED LANDSCAPE PLANS & SITE DETAILS
8 OF 14	NARRATIVE & SITE DETAILS
9 OF 14	DEVELOPMENT STANDARDS
10 OF 14	BUILDINGS 1 & 2 ELEVATIONS
11 OF 14	BUILDING 3 ELEVATIONS
12 OF 14	BUILDING 4 ELEVATIONS
13 OF 14	SITE PHOTOMETRIC
14 OF 14	LIGHTING DETAILS

COVER SHEET
APRIL 29, 2016
SHEET 1 OF 14

BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO



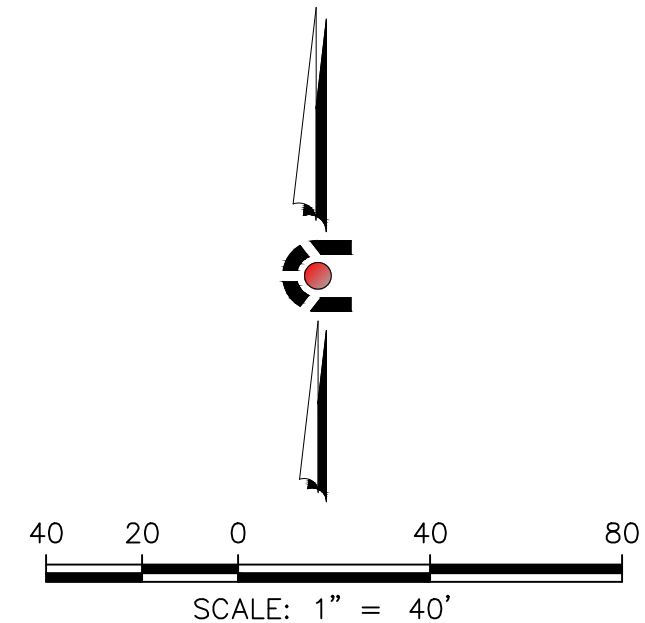
D:\2015\X\14-053 64TH-LOWELL CADDD\CIVIL.PUD.02-SURVEY (SURVEY FILE SAVE-AS).DWG-JFISCHER

POINT OF COMMENCEMENT
SOUTHWEST CORNER, SECTION 5
T3S, R68W OF THE 6TH P.M.
FOUND 1" AXLE IN RANGE BOX

LINE #	LENGTH	DIRECTION
L1	8.87	S0° 00' 00"E
L2	8.94	N0° 00' 00"E

CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	16.60	20.00	47°33'10"	16.13	N66°13'25"E
C2	34.86	42.00	47°33'10"	33.87	N66°13'25"E
C3	31.42	20.00	90°00'00"	28.28	S45°00'00"W
C4	31.42	20.00	90°00'00"	28.28	S45°00'00"E
C5	31.42	20.00	90°00'00"	28.28	S45°00'00"W
C6	31.42	20.00	90°00'00"	28.28	N45°00'00"W
C7	31.42	20.00	90°00'00"	28.28	N45°00'00"E
C8	23.56	15.00	90°00'00"	21.21	N45°00'00"W

- LEGEND**
- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
 - SET #5 REBAR WITH 2" ALUMINUM CAP STAMPED "1" W.C. SOUTH PLS 38151"
 - FOUND 1.5" ALUMINUM CAP PLS 16406
 - FOUND NAIL AND BRASS TAG PLS 7276
 - ◆ FOUND SECTION CORNER, AS NOTED



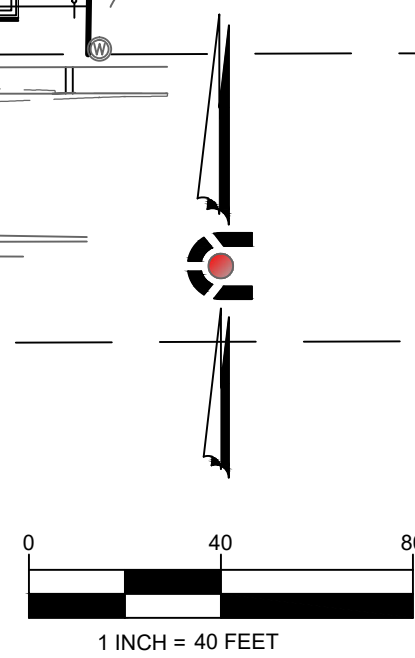
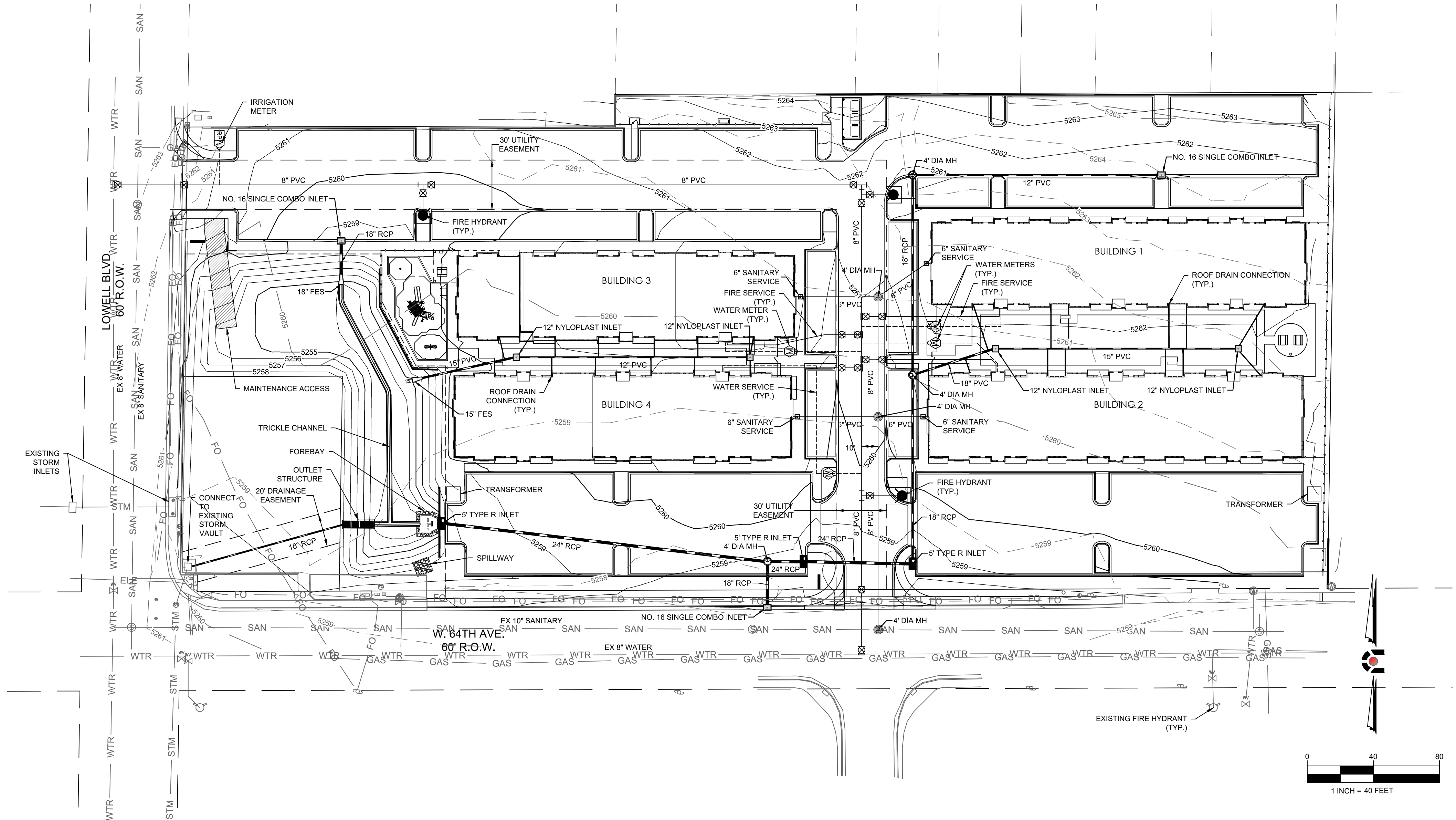
SOUTH QUARTER CORNER, SECTION 5,
T3S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX
PLS 26288

SURVEY
APRIL 29, 2016
SHEET 2 OF 14

BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

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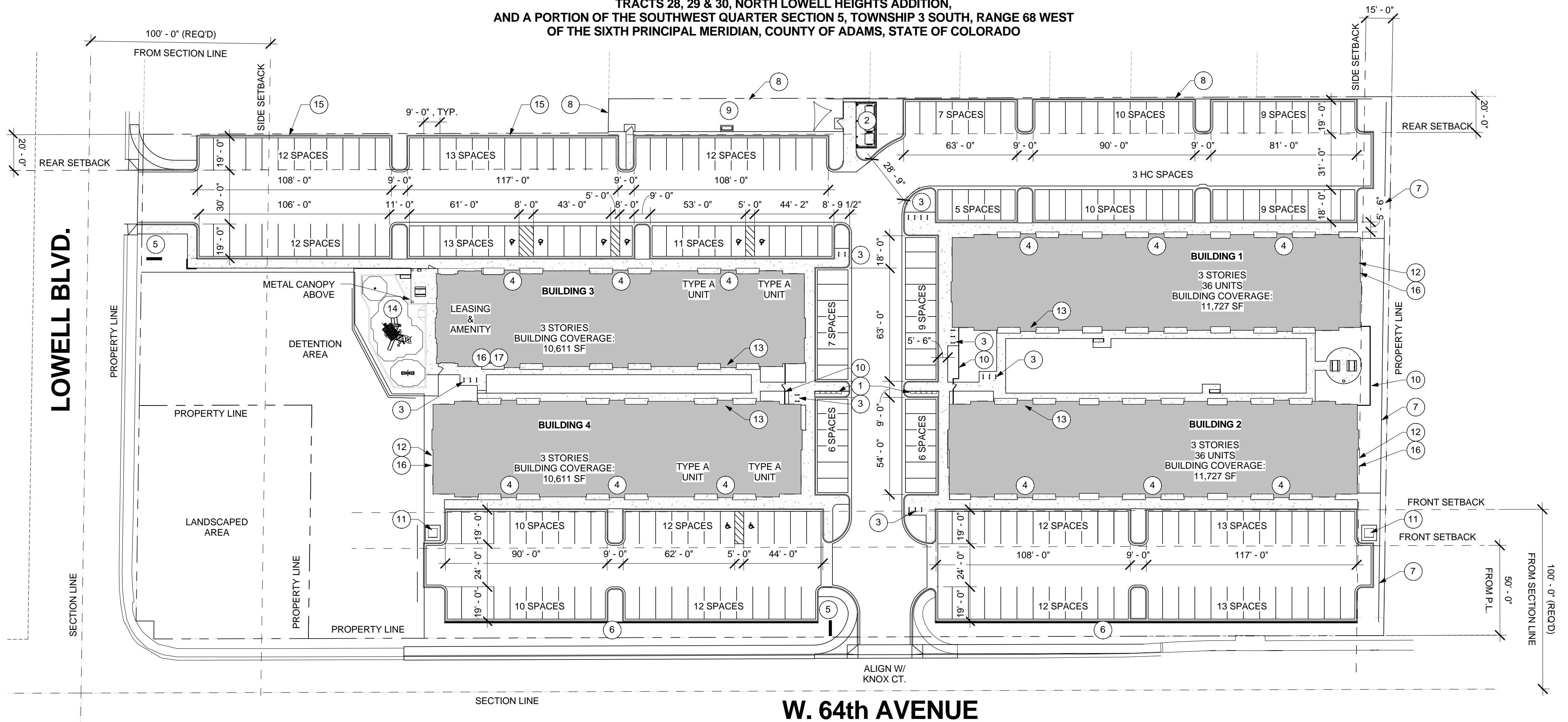


GRADING AND UTILITIES
APRIL 29, 2016
SHEET 3 OF 14

BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

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SITE PLAN
SCALE: 1" = 40'-0"

PARKING STALL DIMENSIONS

9'-0" x 19'-0"
9'-0" x 19'-0" W/ 5' ACCESS AISLE
9'-0" x 19'-0" W/ 8' ACCESS AISLE

TYPICAL
ACCESSIBLE
VAN ACCESSIBLE

PARKING	
TYPE	QTY.
ACCESSIBLE	6
ACCESSIBLE - VAN	2
STANDARD	237
TOTAL: 245	

ACCESSIBLE	6
ACCESSIBLE - VAN	2
STANDARD	237
TOTAL: 245	

BICYCLE PARKING SPACES PROVIDED: 40

LEGEND

- PROPERTY LINE
- ACCESSIBLE PARKING STALL
- BUILDING FOOTPRINT
- PROPOSED PAVED SIDEWALK

REFERENCE NOTES

- 1 MAILBOX LOCATION
- 2 DUMPSTER ENCLOSURE
- 3 BICYCLE RACKS
- 4 BUILDING ENTRY
- 5 MONUMENT SIGNAGE
- 6 LOW SITE WALL
- 7 6' CEDAR PRIVACY FENCE
- 8 8' CEDAR PRIVACY FENCE
- 9 DOG WALKING AREA
- 10 42" FENCE
- 11 TRANSFORMER LOCATION
- 12 ELECTRIC METER
- 13 WATER & FIRE ENTRY ROOM
- 14 PLAY AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL DETAIL.
- 15 8' PRIVACY FENCE, ENHANCED
- 16 GAS METER
- 17 ELECTRIC METER IN CLOSET

GENERAL NOTES

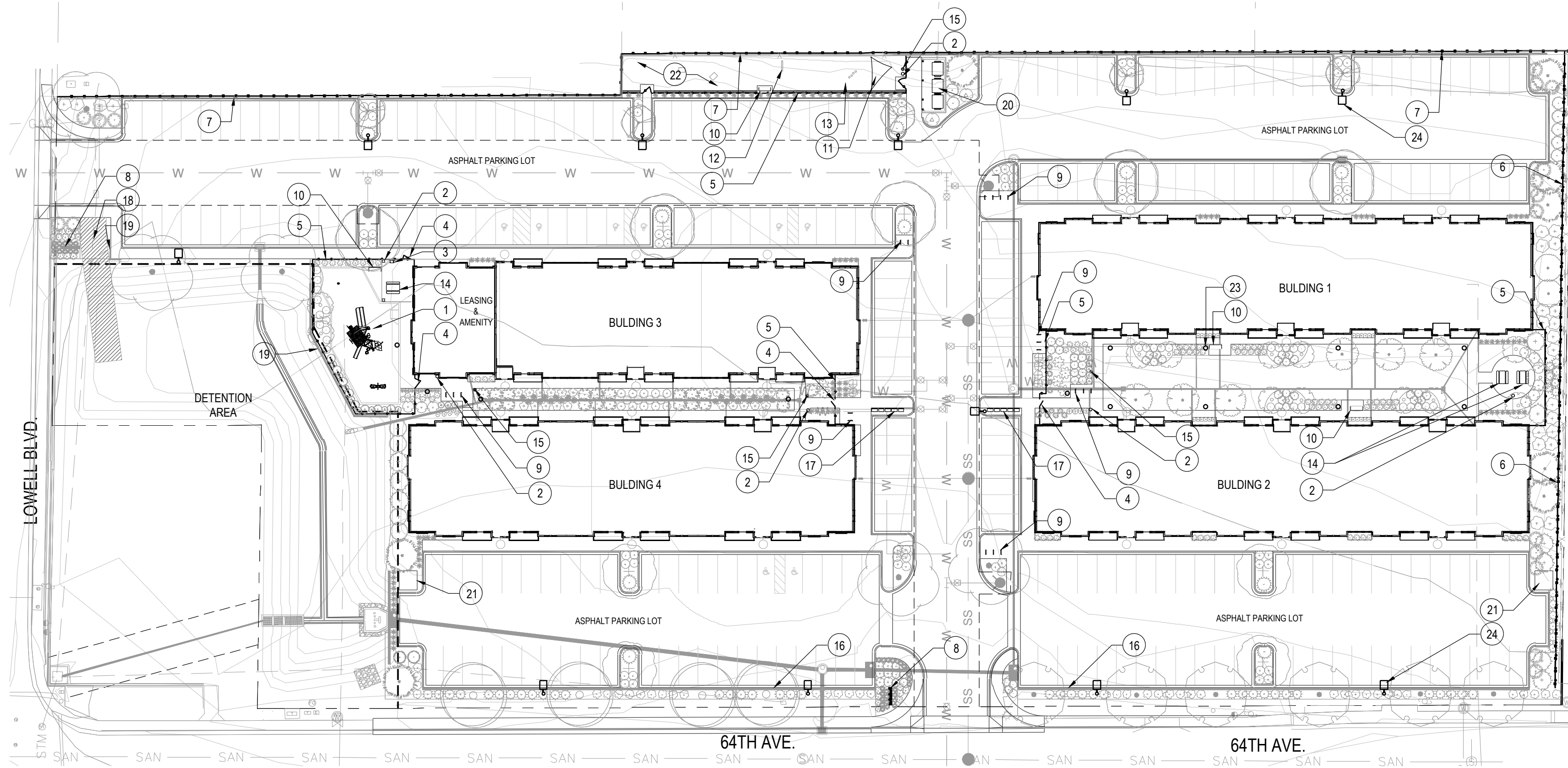
1. ALL PUBLIC AMMENITIES ARE ON AN ACCESSIBLE PATH.
2. OF THE 10 HANDICAP PARKING SPACES, 2 ARE VAN ACCESSIBLE.
3. SITE LIGHTING IS SHOWN ON PHOTOMETRIC PLAN.
4. ALL SIDEWALK GRADES TO MEET ADA REQUIREMENTS. SEE GRADING PLAN.

SITE PLAN
APRIL 29, 2016
SHEET 4 OF 14

BAKER SCHOOL APARTMENTS

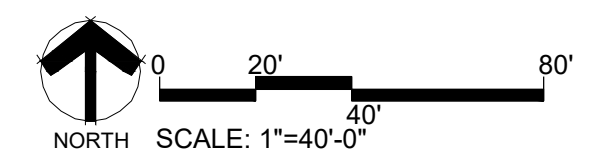
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AMENITY KEY

- 1 PLAYGROUND EQUIPMENT
- 2 TRASH RECEPTACLE
- 3 GRILL STATION
- 4 FENCE GATE
- 5 42" METAL FENCE
- 6 6' PRIVACY FENCE
- 7 8' PRIVACY FENCE, ENHANCED
- 8 MONUMENT SIGN, DTL. 1-SHT 7
- 9 BIKE RACKS
- 10 BENCH
- 11 SHADE SAIL STRUCTURE
- 12 DOG PARK KIT
- 13 TAN CRUSHER FINES SURFACING
- 14 TABLE
- 15 PET STATION
- 16 SCREEN WALL, DTL. 2-SHT 7
- 17 MAILBOX CLUSTER
- 18 GRAVEL MAINT. PATH
- 19 RETAINING WALL
- 20 TRASH ENCLOSURE
- 21 ELEC. PAD
- 22 PET ENCLOSURE
- 23 BOLLARD LIGHT, TYP.
- 24 POLE LIGHT, TYP.

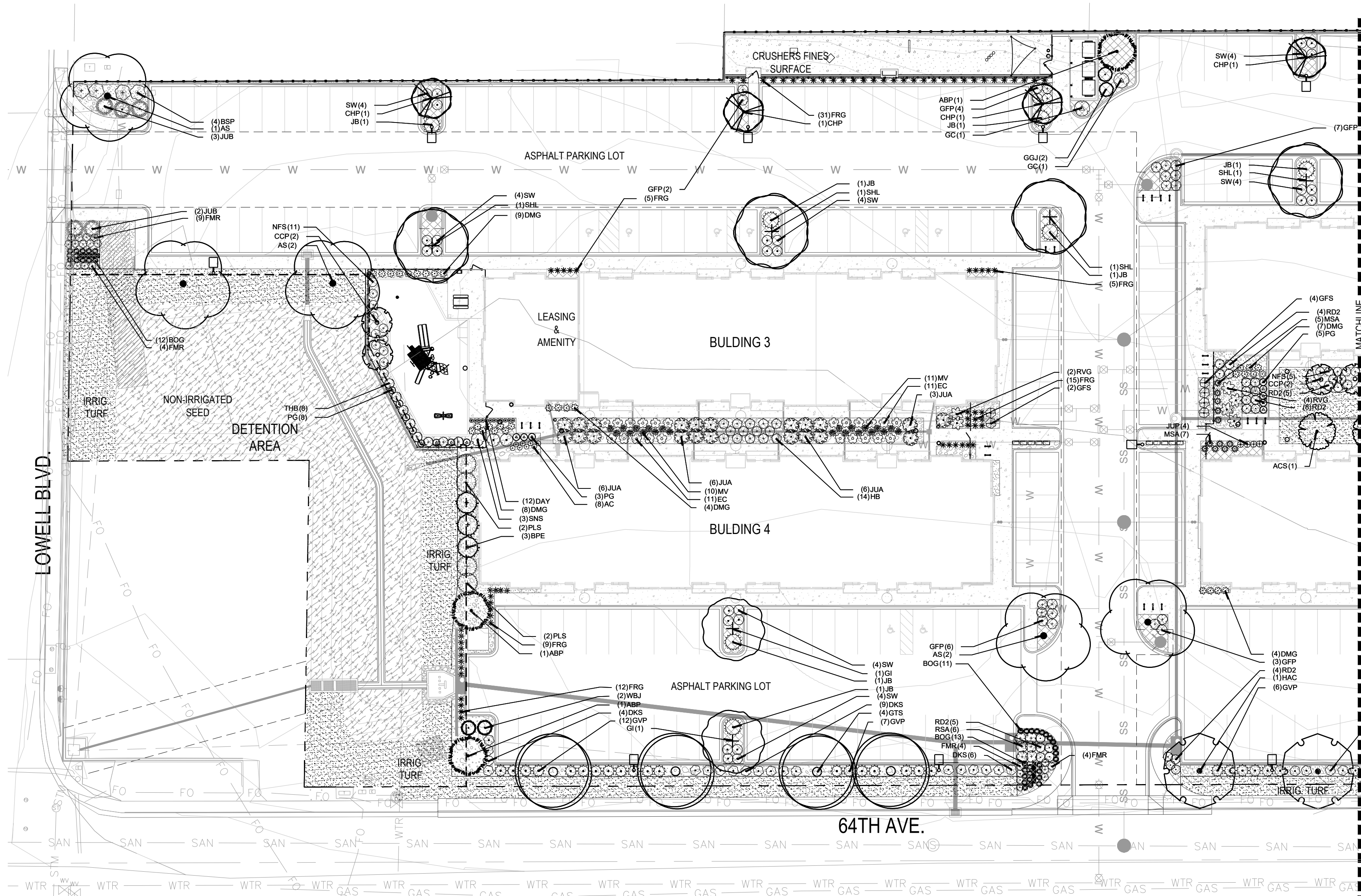


LANDSCAPE PLAN
APRIL 29, 2016
SHEET 5 OF 14

BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

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PLANT & GROUND COVER LIST

DECIDUOUS TREES	COMMON NAME
HAC	COMMON HACKBERRY
GI	IMPERIAL HONEYLOCUST
AS	MIYABEI MAPLE
GTS	SHADEMASTER LOCUST
SHL	SKYLINE HONEY LOCUST

EVERGREEN TREES	COMMON NAME
ABP	AUSTRIAN BLACK PINE
BPE	BOSNIAN PINE
GGJ	GRAY GLEAM JUNIPER
PF	VANDERWOLF'S PYRAMID PINE
WBJ	WICHITA BLUE JUNIPER

ORNAMENTAL TREES	COMMON NAME
CCP	CAPITAL CALLERY PEAR
CHP	CHANTICLEER PEAR
ACS	CRIMSON SENTRY MAPLE

DECIDUOUS SHRUBS	COMMON NAME
HB	BELLA ANNA HYDRANGEA
DKS	BLUE MIST SPIREA
EC	CANADALE GOLD EUONYMUS
BSP	COMMON BLUEBEARD SPIREA
FMR	FIRE MEIDLAND ROSE
GC	GOLDEN CURRANT
GVP	GOLDEN PRIVET
GFP	GOLDFINGER POTENTILLA
NFS	NEON FLASH SPIREA
PLS	PURPLE LEAF SAND CHERRY
RD2	ROSE, DOUBLE KNOCKOUT
RSA	RUSSIAN SAGE
SNS	SNOWMOUND SPIREA
THB	TALL HEDGE BUCKTHORN
SW	'ANTHONY WATERER' SPIREA
GFS	'GOLDFLAME' SPIREA

EVERGREEN SHRUBS	COMMON NAME
JUA	ARCADIA JUNIPER
JUB	BLUE CHIP JUNIPER
JB	BUFFALO JUNIPER

ORNAMENTAL GRASSES	COMMON NAME
MSA	ADAGIO EULALIA GRASS
BOG	BLUE OAT GRASS
DMG	DWARF MAIDEN GRASS
FRG	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PGQ	POURPINE GRASS
RVG	RAVENNA GRASS
MV	VARIEGATED MAIDEN GRASS

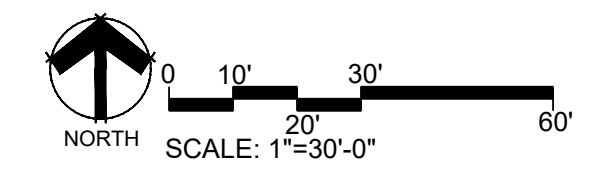
PERENNIALS	COMMON NAME
AC	ANISE HYSSOP
JUP	JUPITER'S BEARD
DAY	STELLA DE ORO DAYLILY

VINE/ESPALIER	COMMON NAME
PE	ENGELMAN IVY

GROUND COVERS	COMMON NAME
[Pattern]	BLACK GRANITE, 3/4" DIA.
[Pattern]	PEA GRAVEL
[Pattern]	RIVER COBBLE MULCH, 4"-6" DIA.
[Pattern]	TAN ROCK MULCH, .75"-1.5" DIA.
[Pattern]	WOOD MULCH

SOD/SEED	COMMON NAME
[Pattern]	SEED, NON-IRRIG NATIVE
[Pattern]	SOD 'ENVIROTURF' BY TURF MASTERS

LANDSCAPE SHEET KEY

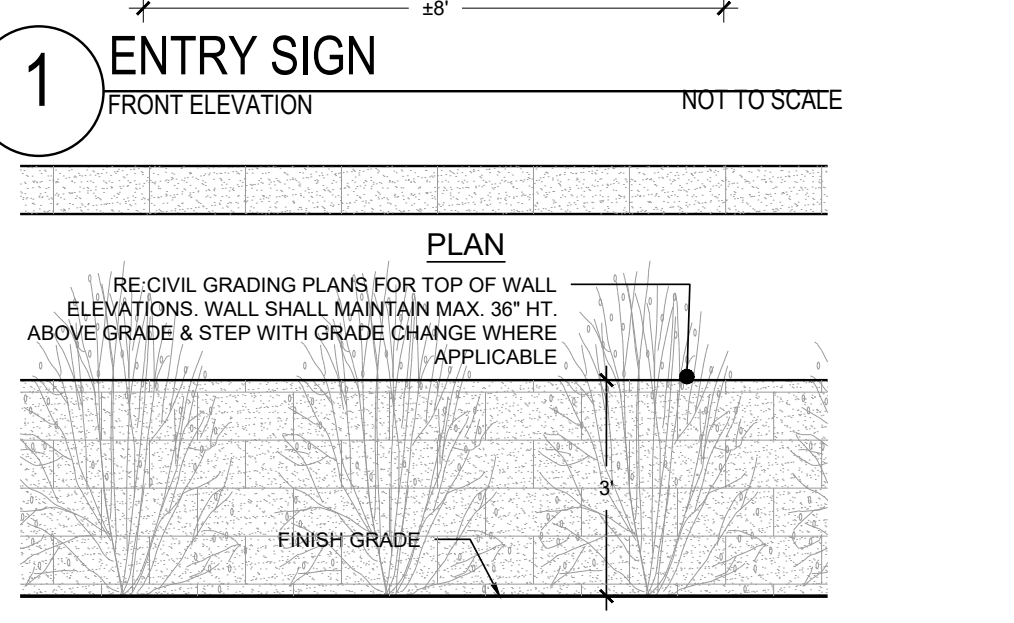
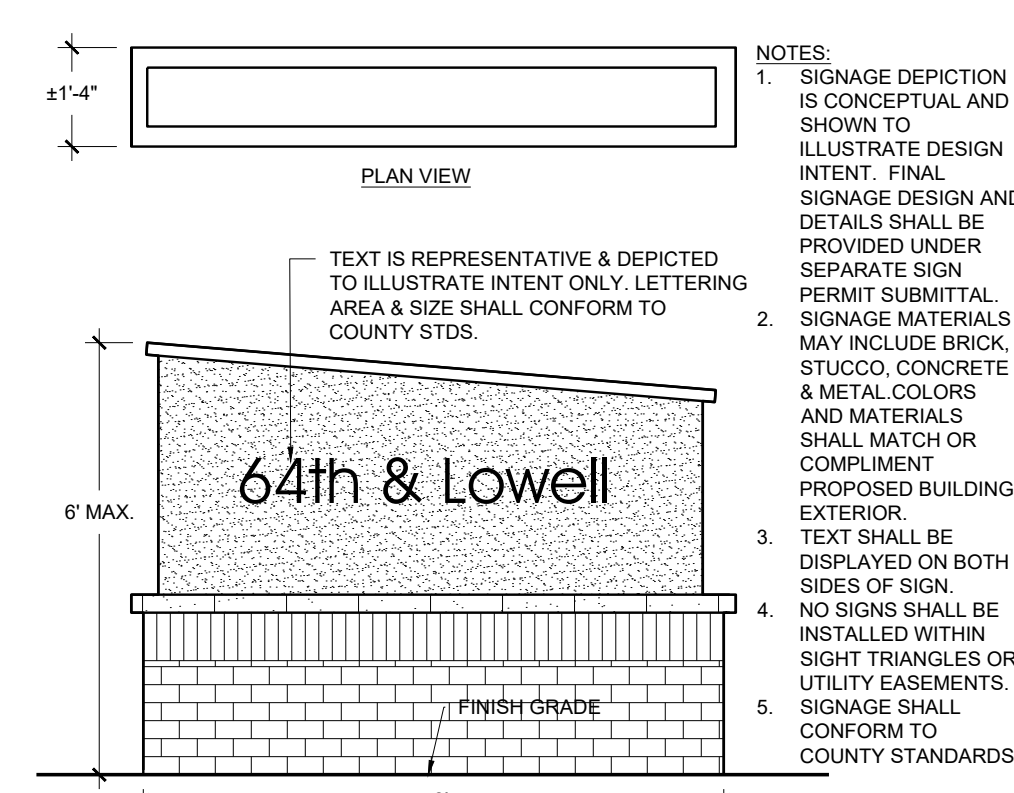
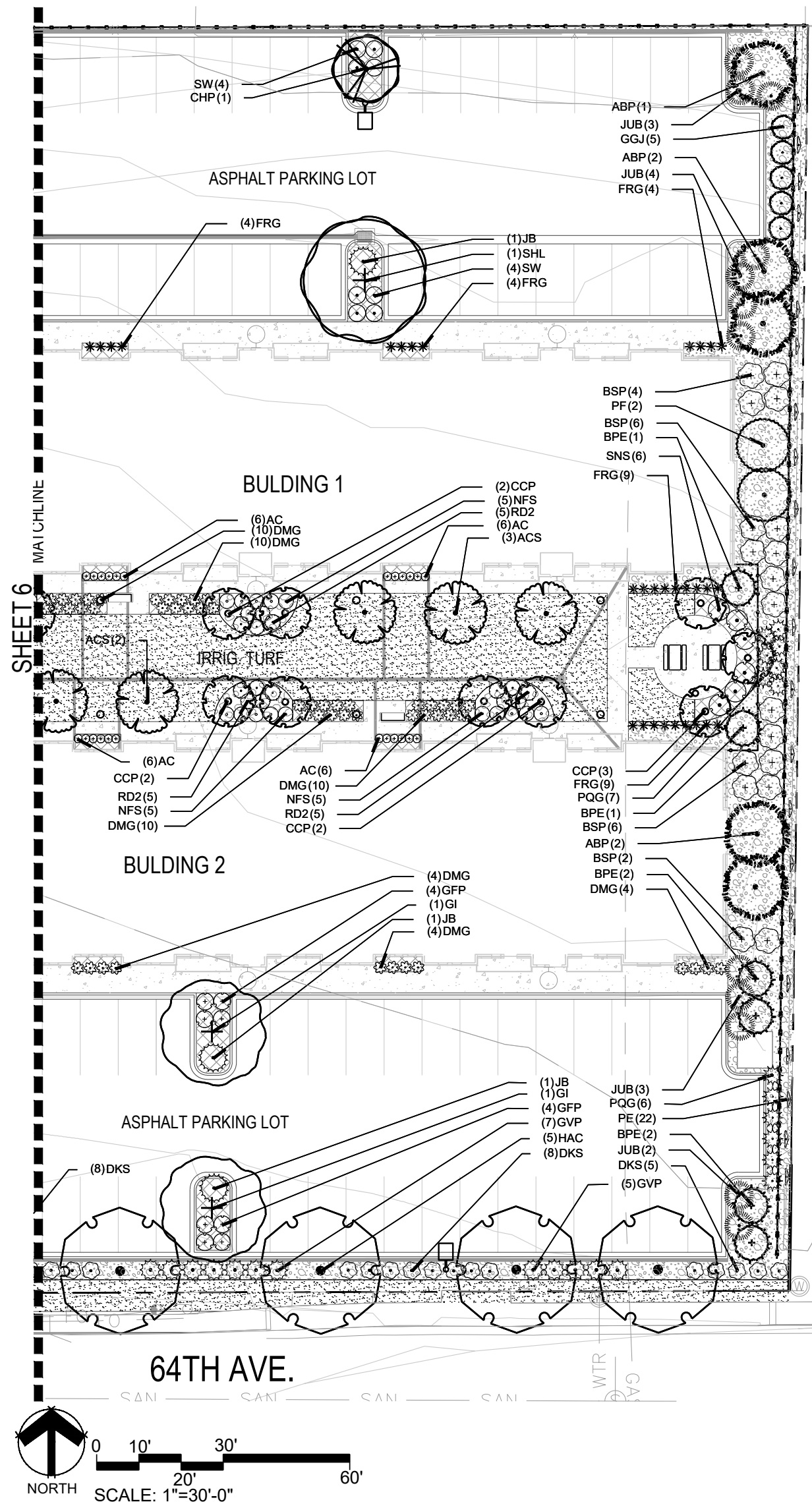


ENLARGED LANDSCAPE PLAN
APRIL 29, 2016
SHEET 6 OF 14

BAKER SCHOOL APARTMENTS

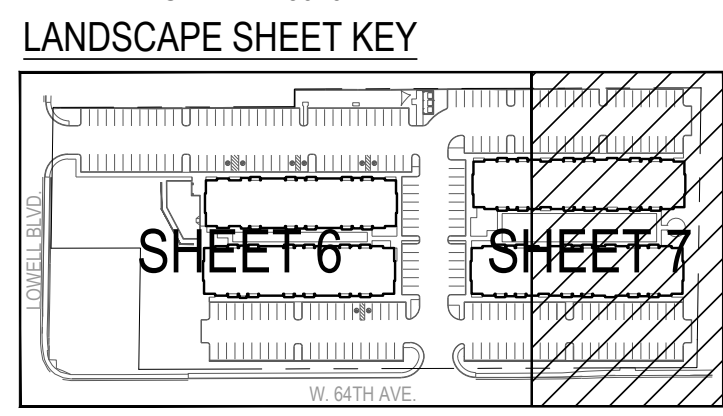
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PLANT & GROUND COVER SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL / SIZE	HT X SPD	IRR. ZONE
HAC	6	COMMON HACKBERRY / CELTIS OCCIDENTALIS	B & B	2" CAL	50' X 30'	LOW
GI	4	IMPERIAL HONEYLOCUST / GLEDITSIA TRIACANTHOS 'IMPERIAL'	B & B	2" CAL	35' X 25'	LOW-MOD-HI
AS	5	MIYABEI MAPLE / ACER MIYABEI 'STATE STREET'	B & B	2" CAL	40' X 40'	LOW-MOD
GTS	4	SHADEMASTER LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'™	B & B	2" CAL	40' X 40'	LOW
SHL	5	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS 'SKYLINE'	B & B	2" CAL	40' X 35'	LOW-MOD
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL / SIZE	HT X SPD	IRR. ZONE
ABP	8	AUSTRIAN BLACK PINE / PINUS NIGRA	B & B	6"-8"	50' X 20'	LOW
BPE	9	BOSNIAN PINE / PINUS HELDREICHII	B & B	6"-8" HT	40' X 10'	LOW-MOD
GGJ	7	GRAY GLEAM JUNIPER / JUNIPERUS SCOPULORUM 'GRAY GLEAM'	15 GAL	6"-8" HT	15' - 6"	LOW
PF	2	VANDERWOLF'S PYRAMID PINE / PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	B & B	6"-8" HT	25' X 15'	LOW-MOD
WBJ	2	WICHITA BLUE JUNIPER / JUNIPERUS SCOPULORUM 'WICHITA BLUE'	15 GAL	5" HT.	20' X 6"	LOW
ORNAMENTAL TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL / SIZE	HT X SPD	IRR. ZONE
CCP	13	CAPITAL CALLERY PEAR / PYRUS CALLERYANA 'CAPITAL'	B & B	1.5" CAL	30' X 10'	LOW
CHP	5	CHANTICLEER PEAR / PYRUS CALLERYANA 'CHANTICLEER'	B & B	1.5" CAL	35' X 16'	LOW-MOD
ACS	6	CRIMSON SENTRY MAPLE / ACER PLATANOIDES 'CRIMSON SENTRY'	B & B	1.5" CAL	25' X 15'	MODERATE
DECIDUOUS SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE	LIGHT REQ.
HB	14	BELLA ANNA HYDRANGEA / HYDRANGEA ARBORESCENS 'BELLA ANNA'	5 GAL	3' X 4'	MODERATE	F/P SHADE
DKS	40	BLUE MIST SPIREA / CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	5 GAL	3' X 3'	MODERATE	F/P FULL SUN
EC	22	CANADALE GOLD EUONYMUS / EUONYMUS FORTUNEI 'CANADALE GOLD'	5 GAL	3' X 4'	MODERATE	F/P SHADE
BSP	22	COMMON BLUEBEARD SPIREA / CARYOPTERIS INCANA	5 GAL	4' X 5'	LOW	F/P FULL SUN
FMR	21	FIRE MEIDLAND ROSE / ROSA MEIDLAND SERIES 'FIRE'	5 GAL	2' X 4'	LOW	F/P FULL SUN
GC	2	GOLDEN CURRANT / RIBES AUREUM	5 GAL	6' X 6'	LOW	F/P SUN
GVP	37	GOLDEN PRIVET / LIGUSTRUM VICARYI	5 GAL	5' X 4'	MODERATE	F/P FULL SUN
GFP	30	GOLDFINGER POTENTILLA / POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL	3' X 4'	LOW	F/P FULL SUN
NFS	31	NEON FLASH SPIREA / SPIRAEA X BUMALDA 'NEON FLASH'	5 GAL	3' X 4'	LOW	F/P FULL SUN
PLS	4	PURPLE LEAF SAND CHERRY / PRUNUS X CISTENA	5 GAL	8' X 8'	LOW	F/P FULL SUN
RD2	41	ROSE, DOUBLE KNOCKOUT / ROSA X 'DOUBLE KNOCKOUT'	5 GAL	3' X 4'	LOW	F/P FULL SUN
RSA	6	RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA	5 GAL	5' X 4'	LOW-MOD	F/P FULL SUN
SNS	9	SNOWMOUND SPIREA / SPIRAEA NIPPONICA 'SNOWMOUND'	5 GAL	3' X 5'	LOW-MOD	F/P FULL SUN
THB	8	TALL HEDGE BUCKTHORN / RHAMNUS FRANGULA 'COLUMNARIS'	5 GAL	4' X 12'	LOW	F/P FULL SUN
SW	36	'ANTHONY WATERER' SPIREA / SPIRAEA JAPONICA 'ANTHONY WATERER'	5 GAL	3' X 4'	LOW-MOD	F/P FULL SUN
GFS	6	'GOLDFLAME' SPIREA / SPIRAEA JAPONICA 'GOLDFLAME'	5 GAL	4' X 4'	MODERATE	F/P FULL SUN
EVERGREEN SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE	LIGHT REQ.
JUA	21	ARCADIA JUNIPER / JUNIPERUS SABINA 'ARCADIA'	5 GAL	2' X 6'	LOW	F/P FULL SUN
JUB	17	BLUE CHIP JUNIPER / JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL	8" X 7"	LOW	F/P FULL SUN
JB	10	BUFFALO JUNIPER / JUNIPERUS SABINA 'BUFFALO'	5 GAL	1' X 8"	LOW	F/P FULL SUN
ORNAMENTAL GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE	LIGHT REQ.
MSA	12	ADAGIO EULALIA GRASS / MISCANTHUS SINENSIS 'ADAGIO'	1 GAL	5' X 3'	MODERATE	F/P FULL SUN
BOG	36	BLUE OAT GRASS / HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	1 GAL	2' X 2.5'	LOW	F/P FULL SUN
DMG	84	DWARF MAIDEN GRASS / MISCANTHUS SINENSIS 'YAKUSHIMA'	1 GAL	4' X 3'	MODERATE	F/P SUN
FRG	107	FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL	5' X 30"	LOW-MOD	F/P SUN
PG	16	FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES	1 GAL	2.5' X 3'	LOW	F/P SUN
POG	13	PORCUPINE GRASS / MISCANTHUS SINENSIS 'STRICTUS'	1 GAL	6' X 5'	LOW-MOD	F/P SUN
RVG	6	RAVENNA GRASS / SACCHARUM RAVENNAE	1 GAL	10' X 5'	MODERATE	F/P FULL SUN
MV	21	VARIEGATED MAIDEN GRASS / MISCANTHUS SINENSIS 'VARIEGATUS'	1 GAL	4' X 3'	MODERATE	F/P SUN
PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE	LIGHT REQ.
AC	32	ANISE HYSSOP / AGASTACHE X 'CORANADO RED'	1 GAL	2.5' X 3"	LOW	F/P FULL SUN
JUP	4	JUPITER'S BEARD / CENTRANTHUS RUBER 'ALBIFLOUS'	1 GAL	3' X 3"	LOW	F/P FULL SUN
DAY	12	STELLA DE ORO DAYLILY / HEMEROCALLIS X 'STELLA DE ORO'	1 GAL	1.5' X 1"	MODERATE	F/P SUN
VINE/ESPALIER	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE	LIGHT REQ.
PE	22	ENGELMAN IVY / PARTHENOCISSUS QUINQUEFOLIA 'ENGELMANNII'	1 GAL	VINE	MODERATE	F/P SHADE
GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME				
	2,413 SF	BLACK GRANITE, 3/4" DIA, / BLACK GRANITE, 3/4" DIA,				
	2,196 SF	PEA GRAVEL / 5/8" PEA GRAVEL				
	832 SF	RIVER COBBLE MULCH, 4"-6" DIA. / RIVER COBBLE MULCH, 4"-6" DIA.				
	10,319 SF	TAN ROCK MULCH, .75"-1.5" DIA. / TAN ROCK MULCH, .75"-1.5" DIA.				
	5,853 SF	WOOD MULCH /				
SOD/SEED	QTY	COMMON NAME / BOTANICAL NAME				
	10,795 SF	SEED, NON-IRRIG NATIVE /				
	14,021 SF	SOD 'ENVIROTURF' BY TURF MASTERS / SOD				

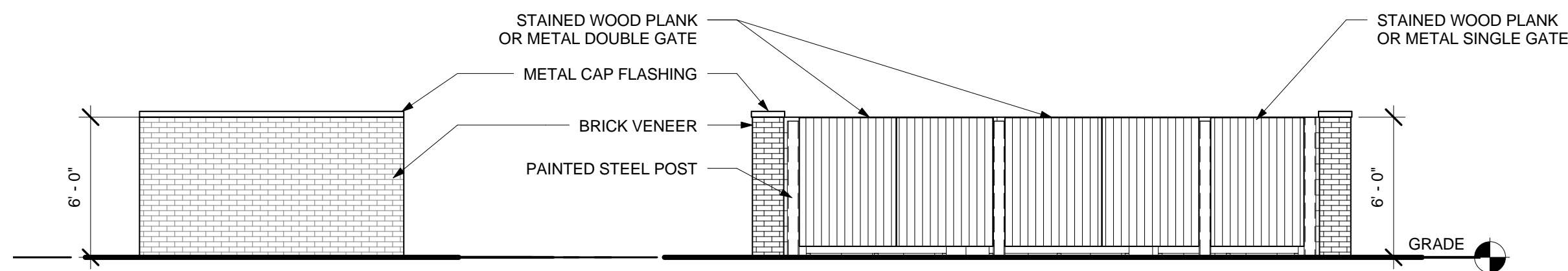


ENLARGED LANDSCAPE
PLANS & SITE DETAILS
APRIL 29, 2016
SHEET 7 OF 14

BAKER SCHOOL APARTMENTS

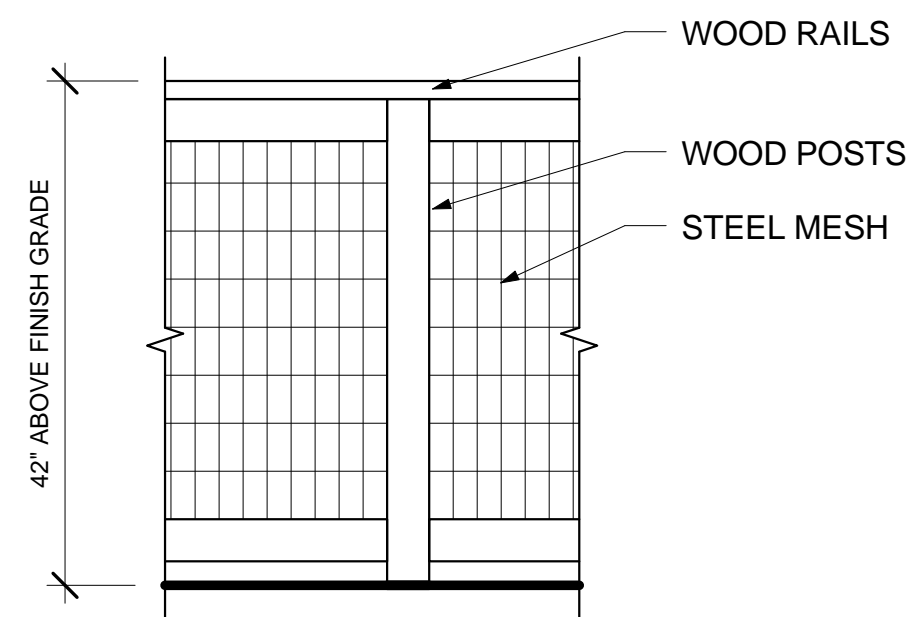
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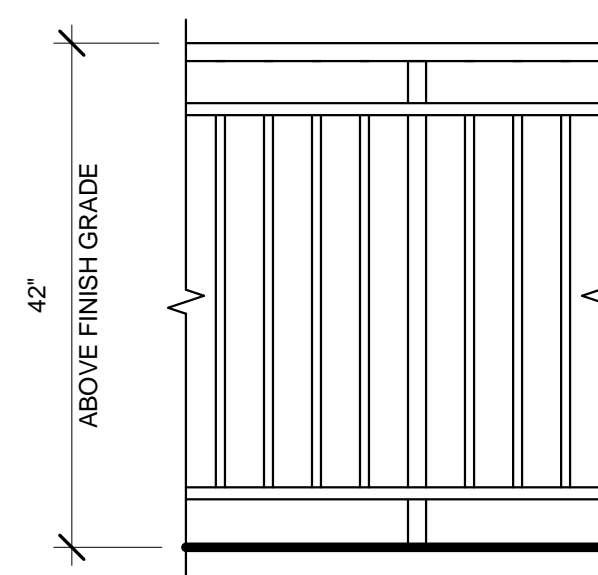


4 TRASH ENCLOSURE - SIDE
SCALE: 3/16" = 1'-0"

3 TRASH ENCLOSURE - FRONT
SCALE: 3/16" = 1'-0"



2 METAL AND WOOD SCREEN FENCE DETAIL
SCALE: 3/4" = 1'-0"



1 COURTYARD FENCE DETAIL
SCALE: 3/4" = 1'-0"

EXPLANATION OF REQUESTS - 64th and LOWELL APARTMENTS FDP

DelWest has entered into a contract with SD#50 to purchase and develop the 4.3±-acres former Baker School site for multi-family units, subject to County approvals. Older single family homes about the property on the east and south across W. 64th Avenue in R-2 zoning, to the west across Lowell Blvd. is an open drainage channel after which is vacant C-5 and R-1-A zoned property, and to the southwest across Lowell Blvd. and 64th Avenue is vacant C-4 zoned and A-1 zoned properties with some older greenhouses.

DelWest is proposing to construct 4 3-story buildings with 142 apartments (72±-1 bedroom and 70±-2 bedroom units), a community room, fitness center, management/rental office, and 244± uncovered parking spaces (minimum of 1.7 parking spaces/unit). Development would include extensive landscaping, an on-site detention pond, and landscaping of a small parcel at the corner of 64th & Lowell that can't be included as part of the site's development plan until ownership issues are resolved. Exterior of the buildings would be earth-tone exterior, and the buildings have been placed so that properties to the north are not shadowed as they formerly were when the school's wall was virtually on the north property line. The FDP will provide details on exterior appearance, landscaping, fencing, etc. to ensure this development will be compatible and beneficial to the residents of the area.

Other information in regard to the proposed development are:

1. Water and Sewer Services – Crestview Water and Sanitation District.
2. Gas and Electric Utility Services – Xcel Energy.
3. Fire Protection – Adams County Fire Protection District. The Fire District will approve all fire hydrant locations, and all home construction will follow the Fire and Building Code.
4. Drainage/Floodplains – The property is not within any 100-year floodplain. Previously the school site didn't detain storm any water runoff, but with this development, excess run-off will be detained and released at historic rates to lessen downstream impacts by the creation of small detention pond in the southeast corner of the site.
5. Soils-Geologic Conditions – A preliminary geo-technical study indicates suitability for development, subject to proper engineering controls to mitigate certain concerns, mainly the presence of some expansive soils. Prior to construction, extensive soil/geologic testing will be undertaken to determine road construction standards and home foundation designs.
6. Access and Public Transportation -The property fronts on Lowell Blvd. and W. 64th Avenue, providing good access to major roads and highways in the area. The site is also located within 1 mile of 3 commuter rail stations providing an incentive for less use of the automobile.
7. Park/Recreation Facilities – The Site is also within 1 mile of 3 major open space amenities – Baker Reservoir, Clear Creek Trail, and the future Hyland Hills Park south on Lowell Blvd.

In summary, the proposed multi-family development at this location is compatible and not detrimental with the surrounding properties, the Comprehensive Plan, or to the health, safety, or welfare of the inhabitants of the area, and is consistent with the purposes and requirements of the County's Standards and Regulations. DelWest requests a favorable recommendation from the County Staff and Planning Commission, and approval by the Board of County Commissioners to develop this property as proposed in these applications for Final Development Plan and Preliminary Plat that can help revitalize and redevelopment of the area.

NARRATIVE & SITE DETAILS

APRIL 29, 2016

SHEET 8 OF 14

BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SITE STATISTICS		
ZONE DISTRICT (CURRENT)	R-2	
ZONE DISTRICT (PROPOSED)	PUD	
PROPOSED USE	MULTI-FAMILY RESIDENTIAL	
	REQUIRED	TOTAL PROVIDED
DWELLING UNITS	62 (14 / ACRE MIN.)	142 (32 / ACRE)
GROSS PROJECT AREA:	2 ACRES	4.38 ACRES (190,844 SF)
BUILDING COVERAGE:	MAXIMUM 40%	43,367 SF (11,409 SF FOR BLDGS 1 & 2) (10,297 SF FOR BLDGS 3 & 4) (22.7%)
OPEN SPACE:	MINIMUM 30%	147,477 SF (77.3%)
LAND AREA PER UNIT:		1,344 SF
OPEN SPACE PER UNIT:		1,039 SF
<u>MINIMUM FLOOR AREA OF DWELLINGS:</u>		
ONE BEDROOM UNIT:	REQUIRED 600 SF	PROVIDED 662
TWO BEDROOM UNIT:	750 SF	940
<u>PARKING:</u>		
	REQUIRED	PROVIDED
PARKING SPACE:	234 (1.669 SPACES/UNIT)	237
HANDICAP PARKING:	7	7
	TOTAL PARKING PROVIDED: 244	
<u>SETBACKS</u>		
	REQUIRED	PROVIDED
FRONT STREET (W. 64th AVENUE) (FROM SECTION LINE)	100'	106' - 10"
SIDE (WEST) (FROM SECTION LINE)	100'	193 - 0"
SIDE (EAST) REAR	15' 20'	15' - 1" 76' - 2"
<u>BUILDING HEIGHT</u>		
	MAX ALLOWED	PROPOSED
BUILDING HEIGHT - FEET	45 FT	41' - 0" FT
BUILDING HEIGHT - STORIES	3	3

THE SITE STATISTICS TABLE IS ILLUSTRATIVE OF THE DEPICTED DESIGN AND IS NOT AN ENUMERATION OF ABSOLUTE REQUIREMENTS. THE DISPLAYED STATISTICS MAY BE MODIFIED AS PART OF THE FDP AS LONG AS THE MODIFIED DESIGN COMPLIES WITH THE DEVELOPMENT STANDARDS DESCRIBED IN THIS PUD AND RELEVANT COUNTY REQUIREMENTS.

GENERAL PLANNED DEVELOPMENT STANDARDS

PURPOSE: THESE GUIDELINES PROVIDE A FRAMEWORK FOR THE DEVELOPMENT OF NEW MULTI-FAMILY RESIDENTIAL BUILDINGS LOCATED WITHIN THIS DEVELOPMENT. THESE GUIDELINES ADDRESS ARCHITECTURAL SCALE AND OVERALL CONTEXT OF THE PROPOSED DEVELOPMENT.

A. USE STANDARDS

1. PERMITTED PRINCIPAL RESIDENTIAL USES:
 - a. MULTI-FAMILY DWELLING
2. PERMITTED ACCESSORY USES:
 - a. PERMITTED WHEN THEY COMPLY WITH THE FOLLOWING CONDITIONS:
 - i. PERMITTED WHEN IN ASSOCIATION WITH THE PRINCIPAL USE.
 - ii. SUBJECT TO BUILDING PERMIT REVIEW AND APPROVAL.
 - b. PERMITTED ACCESSORY USES INCLUDE BUT ARE NOT LIMITED TO:
 - i. RESIDENTIAL USES, ACCESSORY.

B. DEVELOPMENT STANDARDS

1. MINIMUM LOT SIZE REQUIREMENTS:
 - a. 2 ACRES
2. MINIMUM DENSITY:
 - a. 14 DWELLING UNITS PER ACRE
3. MAXIMUM DENSITY:
 - a. 35 DWELLING UNITS PER ACRE
4. MINIMUM LOT WIDTH REQUIREMENTS:
 - a. 200 FT
5. SETBACK AND DIMENSIONAL REQUIREMENTS FOR A PRINCIPAL STRUCTURE:
 - a. MINIMUM FRONT SETBACK:
 - i. 50 FT
 - b. MINIMUM SIDE SETBACK:
 - i. 15 FT
 - c. MINIMUM REAR SETBACK:
 - i. 20 FT
 - d. MINIMUM FRONT SETBACK FROM SECTION LINE:
 - i. 100 FT
6. MAXIMUM HEIGHT:
 - a. PRINCIPAL STRUCTURE:
 - i. 45 FT
7. MINIMUM FLOOR AREA OF DWELLINGS:
 - a. EFFICIENCY UNIT: 450 SF
 - b. ONE BEDROOM UNIT: 600 SF
 - c. TWO BEDROOM UNIT: 750 SF
 - d. THREE BEDROOM UNIT: 900 SF
 - e. FOUR BEDROOM UNIT: 1000 SF

LANDSCAPE GUIDELINES

- a. THE LANDSCAPING SHALL CONFORM TO ADAMS COUNTY STANDARDS IN PLACE AT THE TIME OF DEVELOPMENT APPROVAL, EXCEPT AS NOTED BELOW. NO ARTIFICIAL TREES, SHRUBS OR PLANTS SHALL BE USED. ARTIFICIAL GRASS OR TURF SHALL NOT BE USED.
- b. PUBLIC RIGHT-OF-WAYS:
 - i. LANDSCAPING SHALL EXTEND TO THE BACK OF THE PUBLIC SIDEWALK.
 - ii. STREET TREES: STREET TREES SHALL BE LOCATED WITHIN THE PUBLIC R.O.W. WHERE SPACE AND CONDITIONS PERMIT BUT SHALL NOT ENCROACH UPON EXISTING AND PLANNED UTILITY LINES OR EASEMENTS.
 - iii. TREES PLANTED ALONG THE R.O.W. SHALL BE SPACED AT A MAXIMUM OF 40 FEET EXCEPT IN CASES WHERE THIS WOULD CONFLICT WITH VIEW CORRIDORS, ENTRY WALKS OR EASEMENTS.
- c. IRRIGATION: UNDERGROUND AUTOMATIC IRRIGATION SYSTEMS ARE REQUIRED FOR LANDSCAPING WHICH CANNOT SURVIVE ON NATURAL PRECIPITATION, EXCEPT FOR TEMPORARILY SEEDED AREAS AS STATED BELOW. THE USE OF DRIP, TRICKLE, SUBTERRANEAN AND OTHER WATER CONSERVING IRRIGATION METHODS IS ENCOURAGED, AS IS THE USE OF ORGANIC MULCHES AND OTHER WATER CONSERVING DESIGN FEATURES. THE OVERALL IRRIGATION SYSTEM DESIGN SHOULD EMPHASIZE EFFICIENT WATER USE AND CONSERVATION. NATURALIZED SEED OR UNDISTRIBUTED AREAS ARE NOT REQUIRED TO BE IRRIGATED.
- d. MINIMUM LANDSCAPE SIZES:
 - i. DECIDUOUS TREES: 2" CALIPER MEASURED 6" ABOVE SOIL LINE.
 - ii. ORNAMENTAL DECIDUOUS TREES: 1.5" CALIPER MEASURED 6" ABOVE SOIL LINE.
 - iii. EVERGREEN TREES: 6 FEET.
 - iv. DECIDUOUS/EVERGREEN SHRUBS: #5 CONTAINER.
 - v. ORNAMENTAL GRASSES: #1 CONTAINER.
 - vi. PERENNIAL: #1 CONTAINER.
- e. SUBSTITUTIONS: ALL SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED BY ADAMS COUNTY.

9. OPEN SPACE STANDARDS

- a. MINIMUM 25% OF UNOBSTRUCTED OPEN SPACE REQUIRED.
- b. UNOBSTRUCTED OPEN SPACE IS DEFINED AS AN AREA UPON WHICH NO STRUCTURE (EXCEPT GAZEBOS, TRELLIS, PERGOLAS AND THE LIKE) MAY BE ERECTED OR SURFACE AREA UTILIZED FOR STORAGE OR FOR VEHICULAR MOVEMENT (EXCEPT FOR EMERGENCY ACCESS ON TURNAROUND) OR PARKING. UNOBSTRUCTED OPEN SPACE INCLUDES BUT IS NOT LIMITED TO, LANDSCAPING, HARDSCAPING, PATIOS, BALCONIES, SWIMMING POOLS, SIDEWALKS, DECKING, PLAYGROUNDS, OUTDOOR FIREPLACES, BARBECUES, SPORTS COURTS, FENCES, RETAINING WALLS AND OTHER SUCH ELEMENTS. SUCH STRUCTURES AN FEATURES SHALL NOT BE DEEMED TO VIOLATE PROHIBITION AGAINST STRUCTURES IN UNOBSTRUCTED OPEN SPACE AN THE AREA BY SUCH ITEMS SHALL BE COUNTED TOWARD THE UNOBSTRUCTED OPEN SPACE REQUIREMENT.

10. SLOPE DESIGN STANDARDS:

- a. SLOPES SHALL NOT EXCEED 3:1 UNLESS APPROVED BY ADAMS COUNTY.

11. FENCING STANDARDS:

- a. MAXIMUM HEIGHT: SIX (8) FEET.
- b. CONSTRUCTION SHALL BE SOLID, WOOD PICKET PRIVACY FENCE, OR PAINTED METAL.

12. RETAINING WALLS:

- a. ANY RETAINING WALLS MAY BE CONSTRUCTED OF NATURAL STONE, CONCRETE MASONRY BLOCK, INTERLOCKING MODULAR BLOCKS, OR POURED CONCRETE (WHICH SHALL BE TEXTURED) WITH THE COLOR COMPLIMENTARY TO THE BUILDING ARCHITECTURE.
- b. RETAINING WALLS MAY BE FREESTANDING OR INCORPORATED INTO ANY BUILDINGS. WALLS MAY BE TERRACED.
- c. RETAINING WALLS SHALL HAVE A MAXIMUM HEIGHT OF THREE (3) FEET, UNLESS ENGINEERED AND APPROVED BY ADAMS COUNTY.

13. LIGHTING STANDARDS:

- a. ALL EXTERIOR LIGHTING SHALL BE IN COMPLIANCE WITH ADAMS COUNTY STANDARDS.

C. ARCHITECTURE GUIDELINES

1. BUILDING FORM:

- a. BUILDING SIZE: THE PRINCIPAL BUILDING SHALL NOT EXCEED A MAXIMUM HEIGHT 45 FEET.
- b. BUILDING MASSING:
 - i. BUILDING MASS WILL BE BROKEN UP USING A VARIETY OF HEIGHTS AND SEPARATIONS OF BUILDING MASS ALLOWING FOR INCREASED VISUAL INTEREST.
 - ii. THE BUILDING WILL HAVE A VARIETY OF MATERIAL EXHIBITING DIFFERENT BUT COMPLIMENTARY COLORS AND TEXTURES, EXCLUSIVE OF ROOFING MATERIAL AND WINDOW GLAZING.

2. BUILDING ELEMENTS:

- a. ENTRY COMPONENTS:
 - i. THE ENTRY COMPONENTS SHALL BE DISTINCTIVE WITH MASSING, MATERIAL PLACEMENT AND FEATURES THAT ARE RECOGNIZABLE AS BUILDING ENTRY POINTS.
 - ii. THE FACADE WILL BE ENHANCED WITH ARCHITECTURAL TRIM AND DETAILS TO PROVIDE VISUAL INTEREST AND RELIEF.
- b. PERMISSIBLE BUILDING ELEMENTS INCLUDE BUT ARE NOT LIMITED TO: PATIOS, AWNINGS, OTHER PROJECTIONS, BRACING / BRACKETS, OVERHANGS, INSETS, CANTILEVERS, DECKS, FIREPLACES, STOOPS, TRELLIS DETAILS, BAY WINDOWS, SHUTTERS AND OTHER ARCHITECTURAL FEATURES.
- c. SOLAR PANELS AND OTHER SOLAR ELEMENTS (WHETHER PASSIVE OR ACTIVE) ARE PERMITTED.
- d. ROOFS
 - i. ROOFS SHALL BE DESIGNED TO KEEP ROOF PLANES CLEAN. THE ROOFS WILL PRIMARILY BE FLAT WITH A PARAPET TO CONCEAL ROOFTOP EQUIPMENT. SOME BUILDING ELEMENTS WILL HAVE SLOPED SHED ROOFS.
 - ii. ROOFS MAY INCORPORATE ENHANCEMENTS INCLUDING, BUT NOT LIMITED TO: GABLES, SHEDS, DORMERS, VENTS, CORNICE AND EAVE DETAILS AND BRACKETS.
 - iii. MECHANICAL EQUIPMENT LOCATED ON THE ROOF SHALL BE WELL-ORGANIZED AND SCREENED FROM VIEW (AS SEEN FROM THE FRONT, BACK AND SIDES OF THE BUILDING).
 - iv. ROOF PENETRATIONS SHALL BE MINIMIZED AND CLUSTERED WHERE PRACTICAL.
- e. DOORS AND WINDOWS:
 - i. ALL WINDOWS WILL BE OF THE SAME STYLE BY THE SAME MANUFACTURER FOR A CONSISTENT LOOK. ALL STOREFRONT SYSTEMS WILL BE OF THE SAME STYLE BY THE SAME MANUFACTURER FOR A CONSISTENT LOOK.
 - ii. MAIN ENTRY DOORS SHALL BE INCORPORATED INTO A STOREFRONT SYSTEM TO DIFFERENTIATE THEM FROM UNIT PATIO DOORS.

3. BUILDING SURFACE ELEMENTS:

- a. BUILDING SURFACE MATERIALS MAY INCLUDE, BUT ARE NOT LIMITED TO, BRICK VENEER, STUCCO SYSTEM, STAINED WOOD OR ARTIFICIAL WOOD PANELING, CEMENTITIOUS PANELING OR LAP SIDING, METAL RAILINGS, WOOD & METAL TRELLISES.
- b. WINDOWS AND DOORS WILL BE UNTRIMMED, AND FRAMES WILL BE THE SAME COLOR,

4. BUILDING COLORS:

- a. COLORS THAT COMPLIMENT AND ENHANCE THE SURROUNDINGS SHALL BE USED.
- b. THE USE OF BRIGHT COLORS WILL BE LIMITED TO ACCENT AREAS.
- c. THE BUILDINGS SHALL CONSIST PRIMARILY OF AN NEUTRAL PALETTE. LIMITED AREAS MAY HAVE WARMER OR COOLER TONES. A NEUTRAL PALETTE IS DEFINED AS A COLOR SCHEME THAT DRAWS FROM A COLOR PALETTE OF BROWNS, TANS, GREENS, GRAYS AND WHITES.

DEVELOPMENT STANDARDS

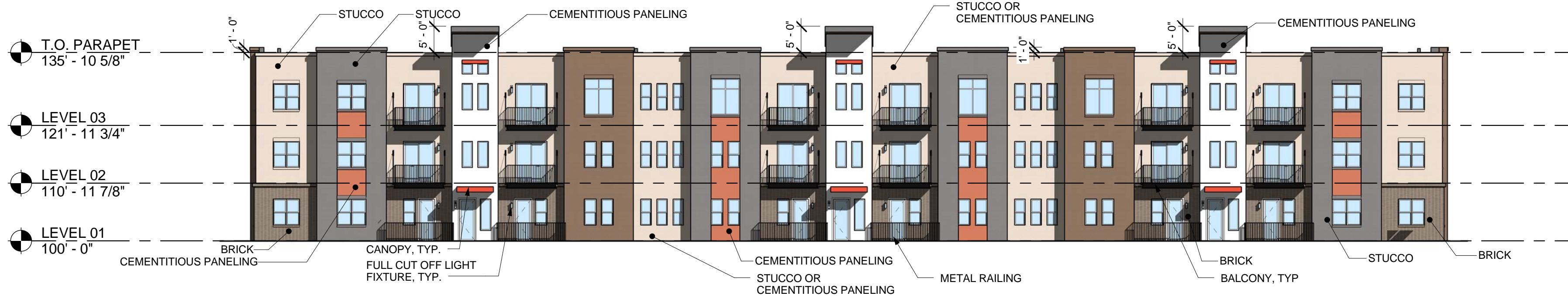
APRIL 29, 2016

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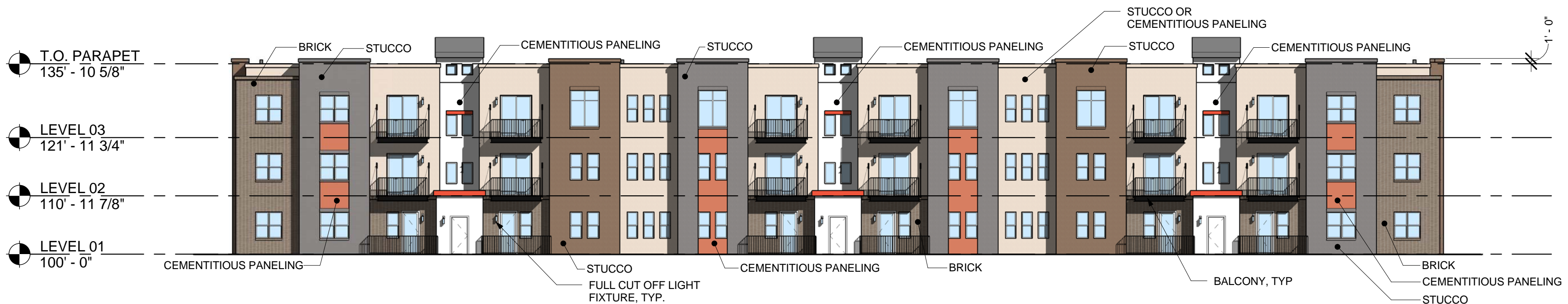
BAKER APARTMENTS

FINAL DEVELOPMENT PLAN

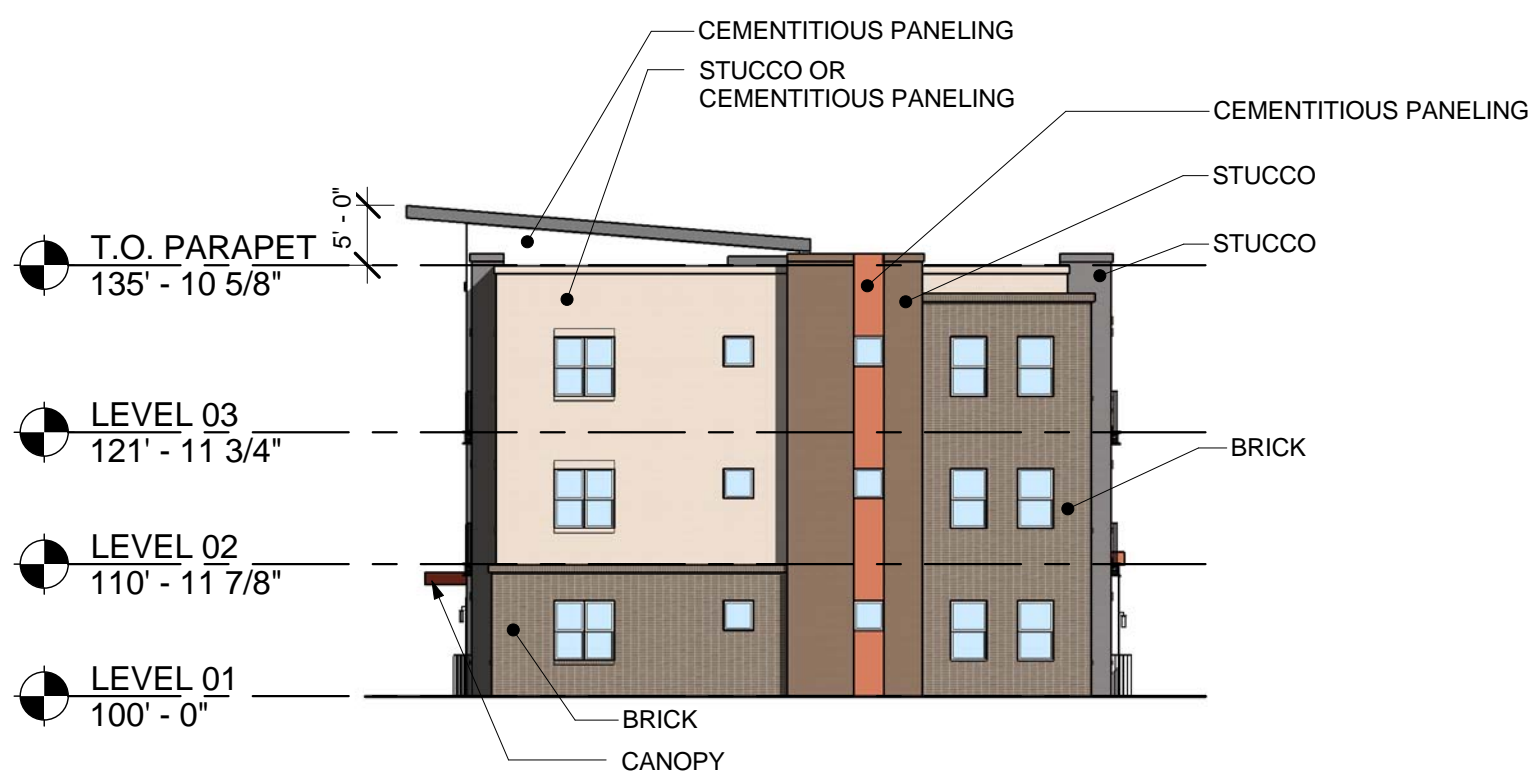
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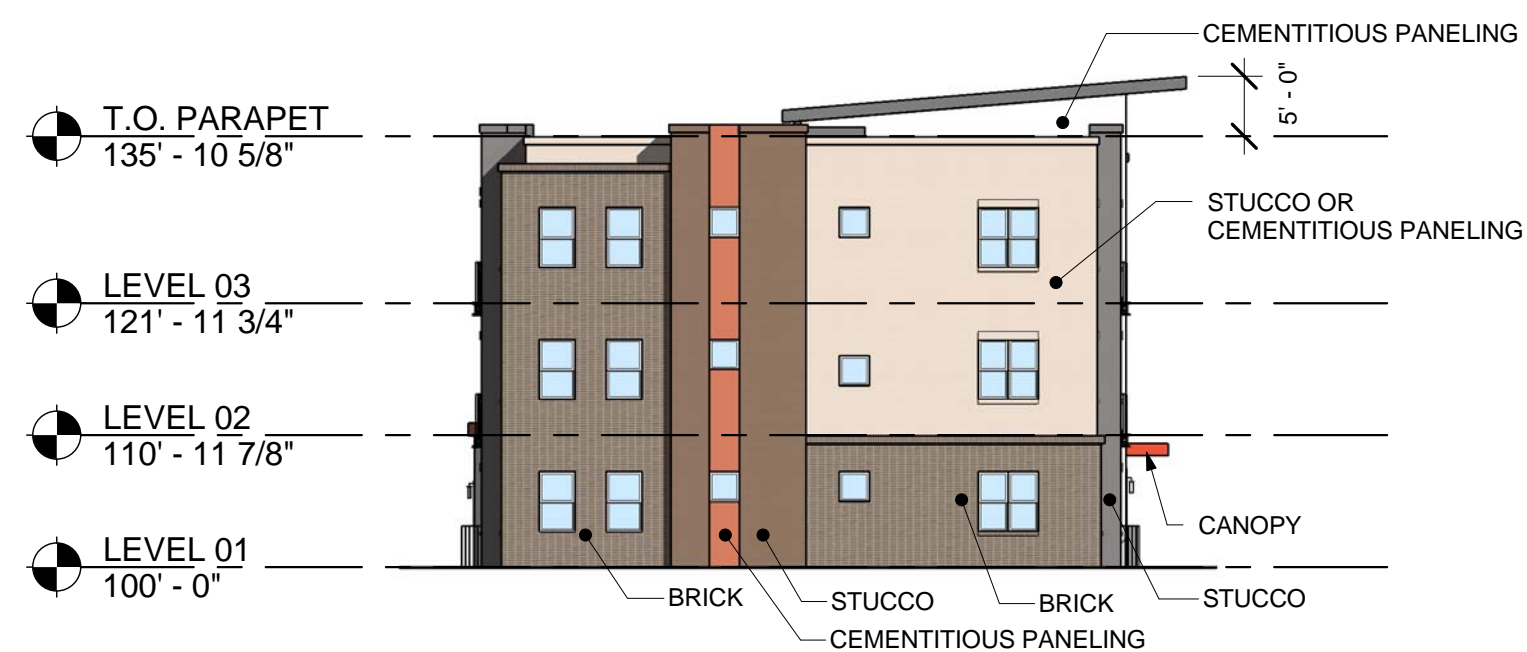
1 BUILDINGS 1 & 2 PARKING SIDE ELEVATION
SCALE: 1/16" = 1'-0"



2 BUILDINGS 1 & 2 COURTYARD SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION
SCALE: 1/16" = 1'-0"

BUILDINGS 1 & 2 ELEVATIONS

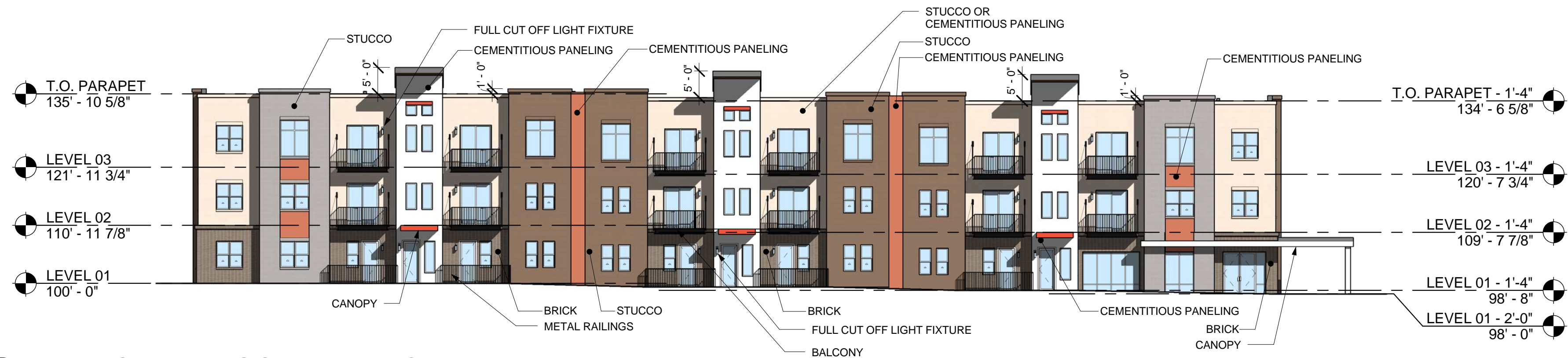
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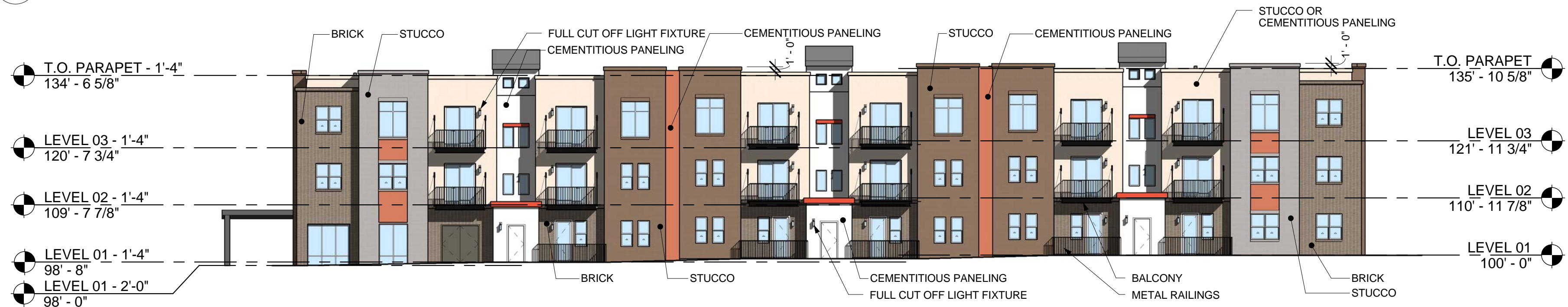
BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

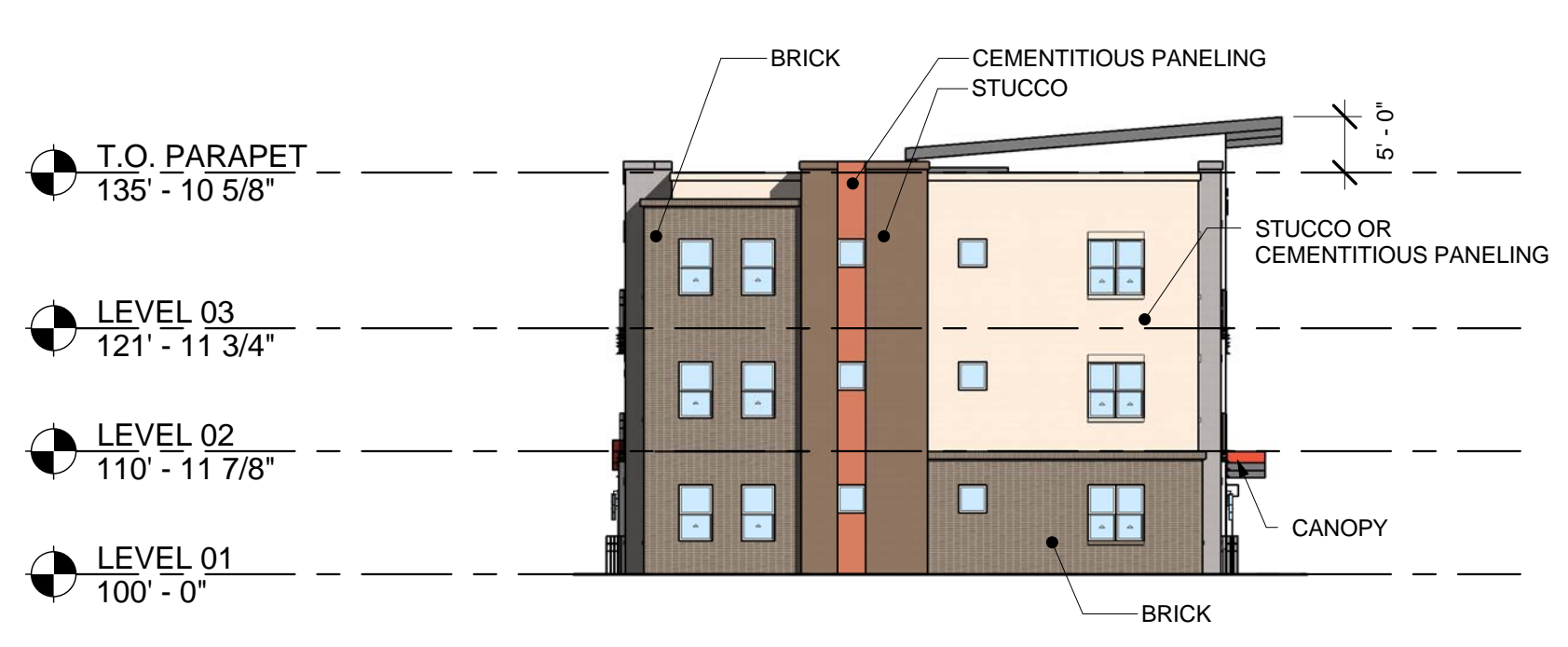
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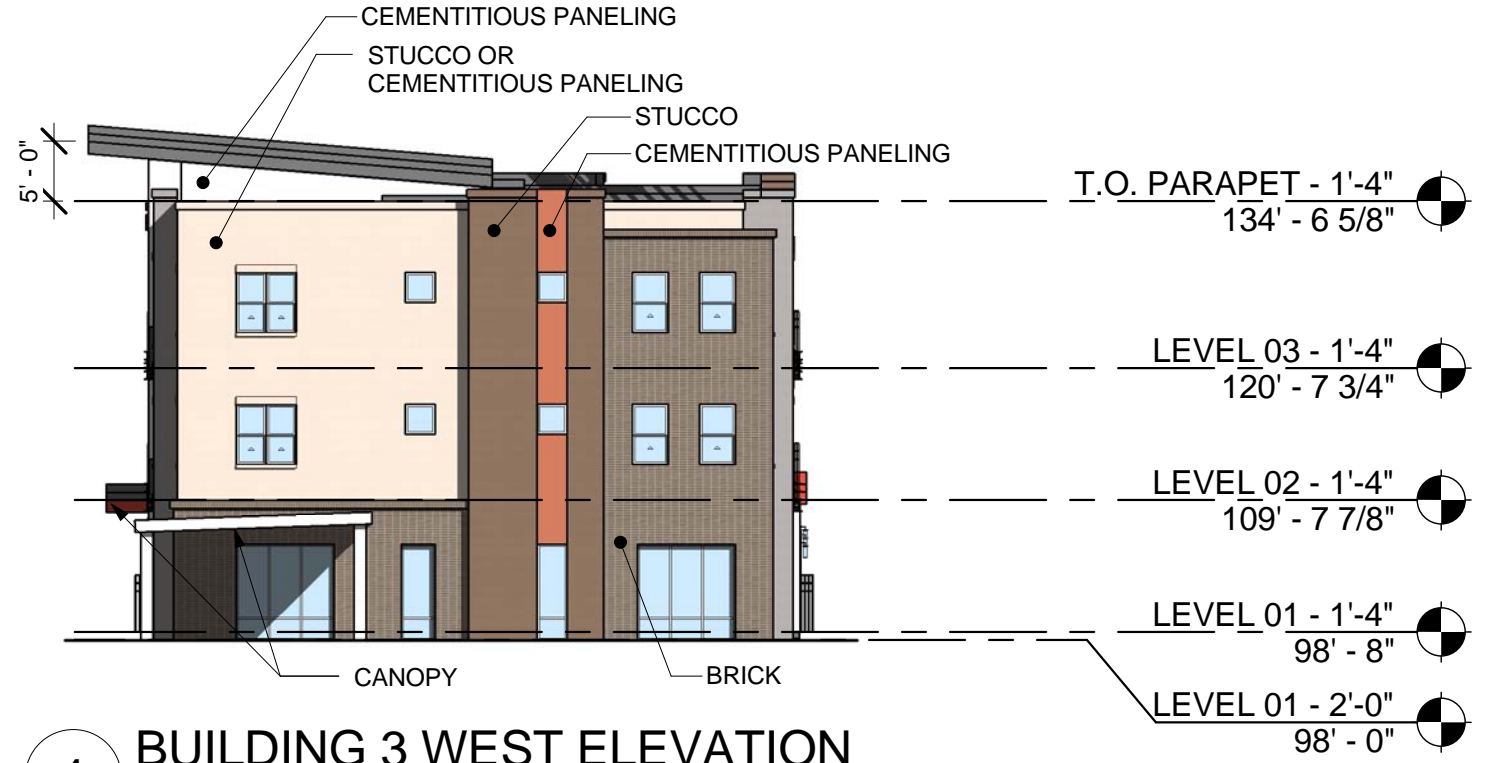
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2 BUILDING 3 COURTYARD SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 BUILDING 3 EAST ELEVATION
SCALE: 1/16" = 1'-0"



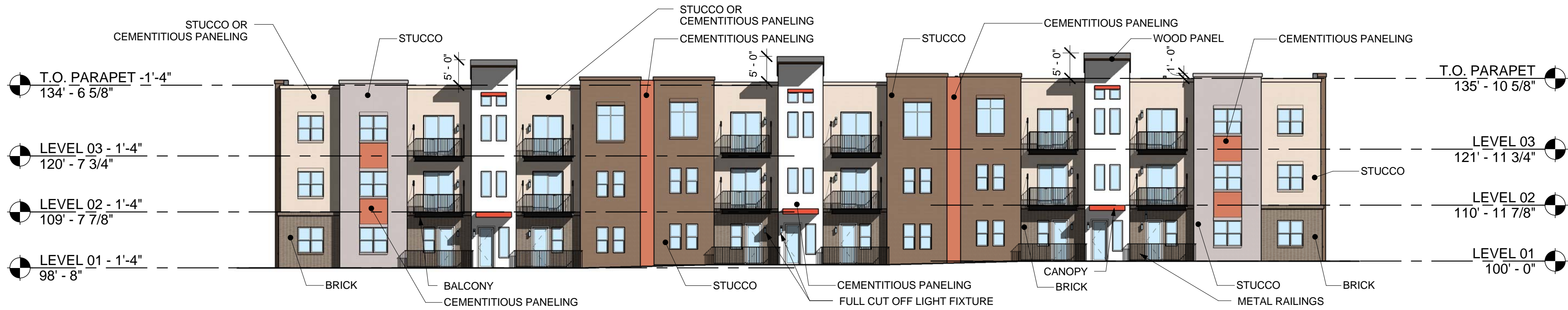
4 BUILDING 3 WEST ELEVATION
SCALE: 1/16" = 1'-0"

BUILDING 3 ELEVATIONS
APRIL 29, 2016
SHEET 11 OF 14

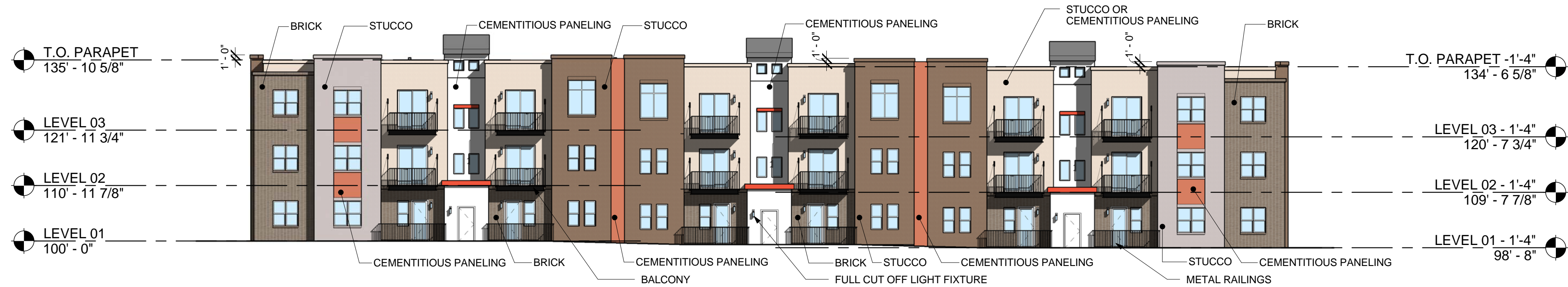
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FINAL DEVELOPMENT PLAN

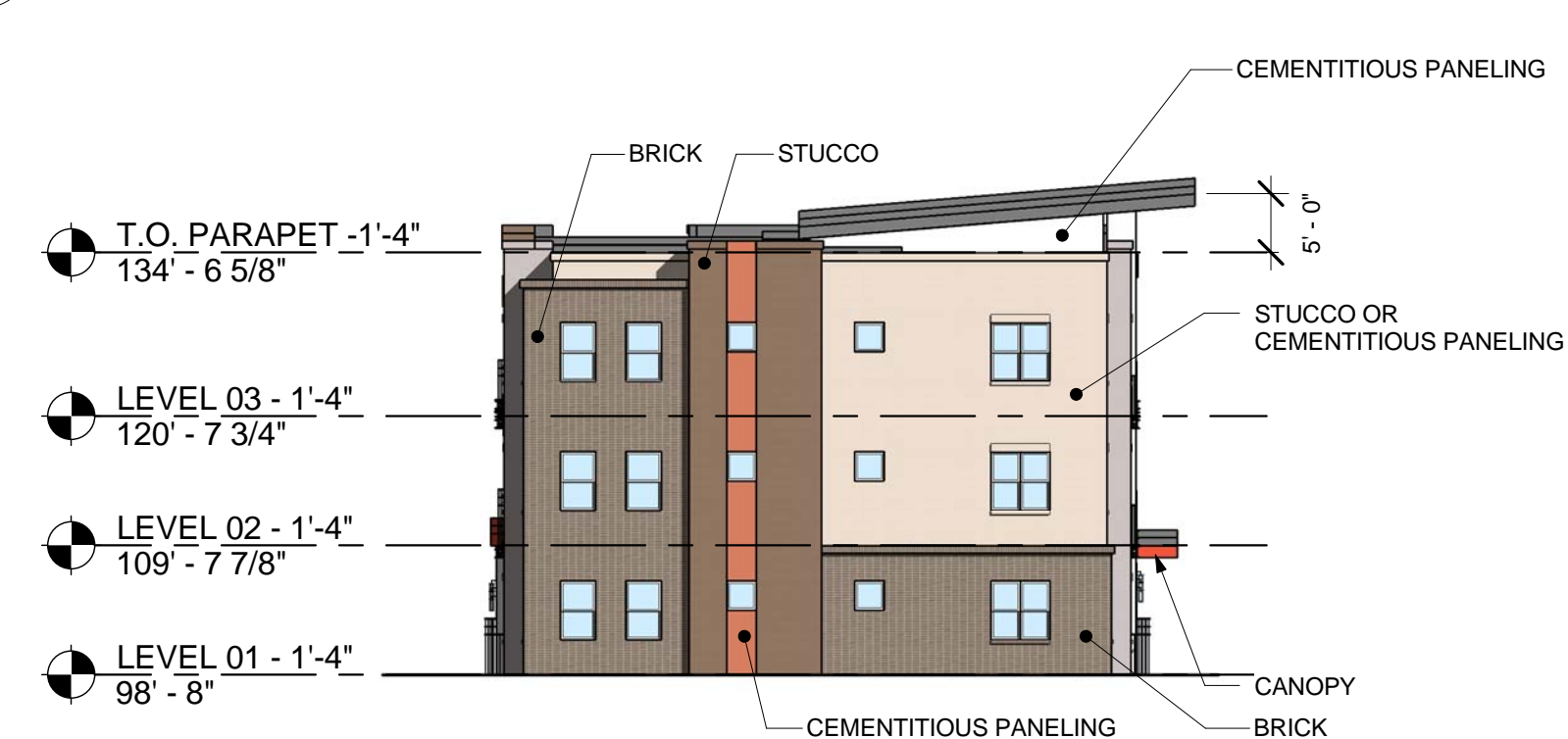
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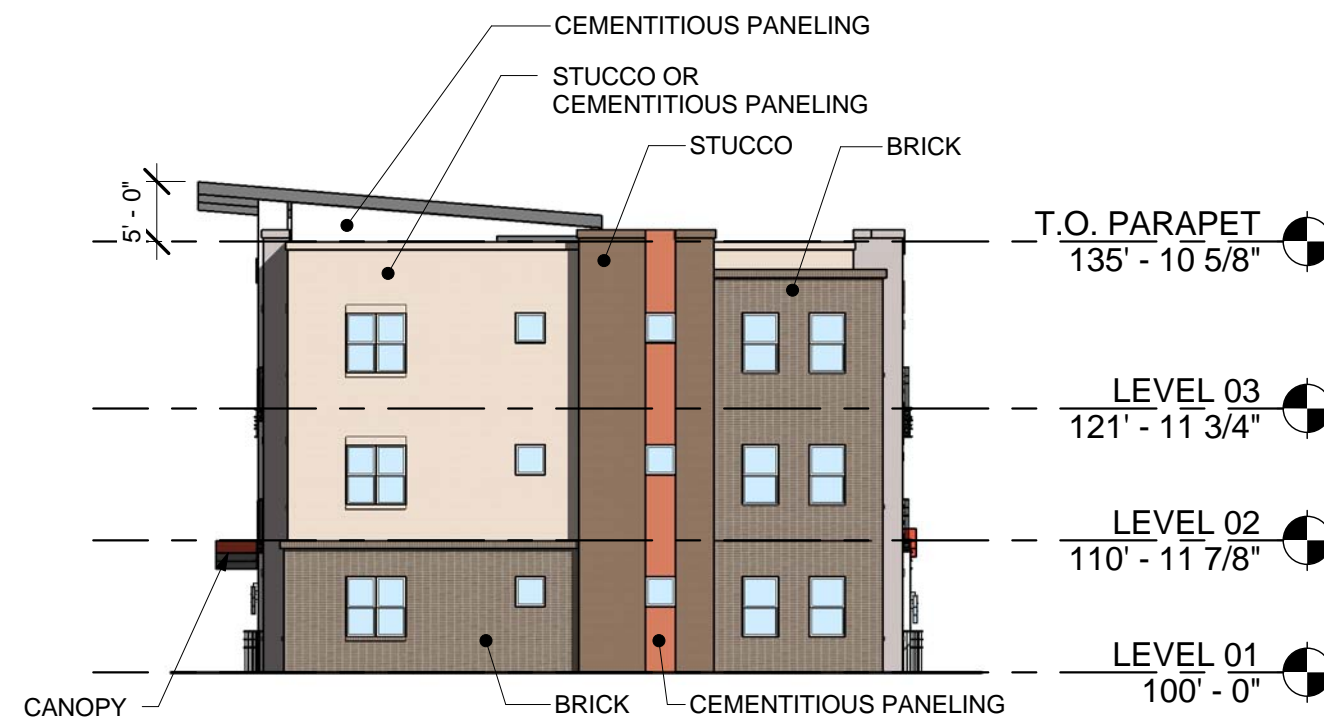
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2 BUILDING 4 COURTYARD SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 BUILDING 4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



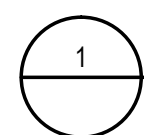
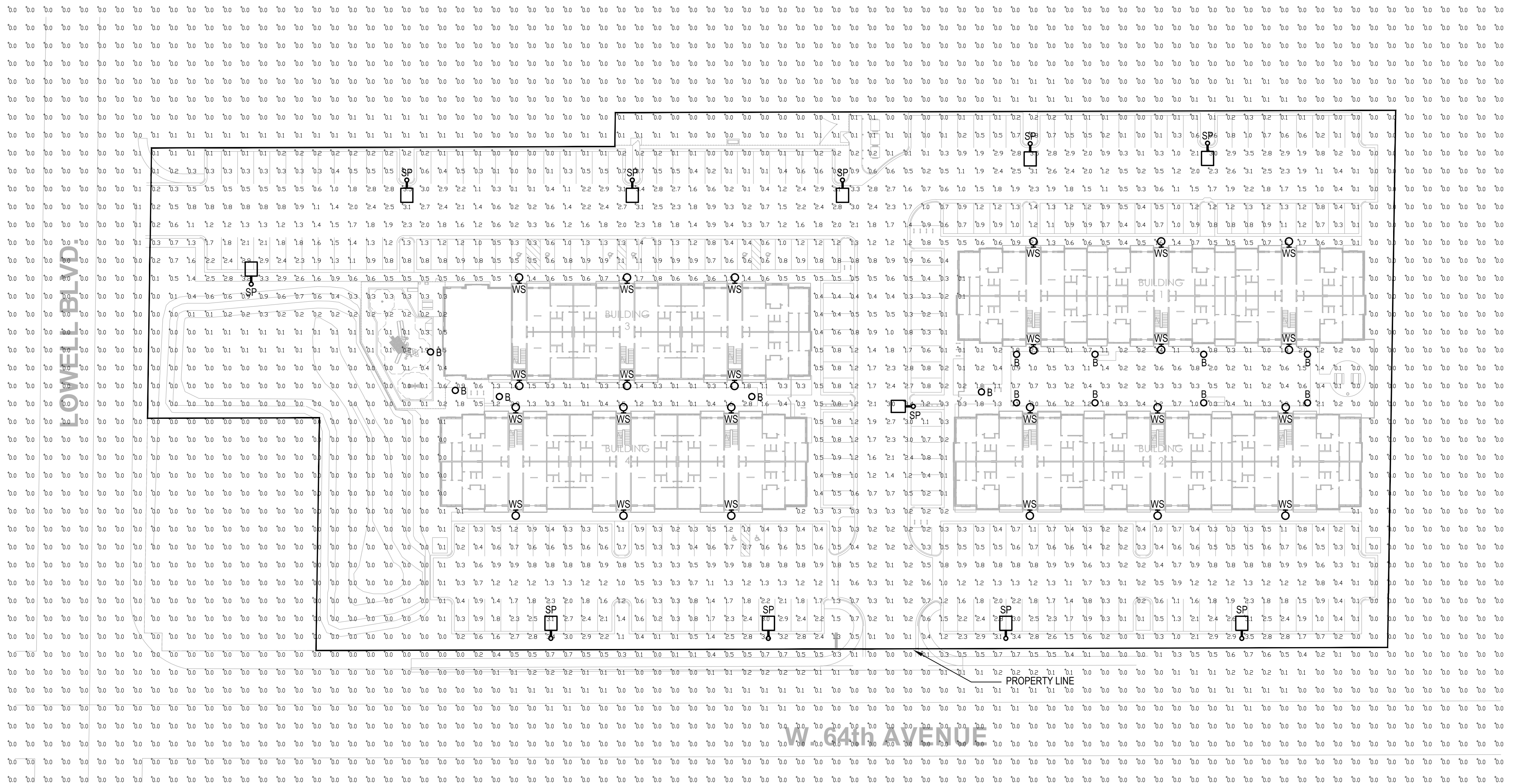
4 BUILDING 4 EAST ELEVATION
SCALE: 1/16" = 1'-0"

BUILDING 4 ELEVATIONS
APRIL 29, 2016
SHEET 12 OF 14

BAKER SCHOOL APARTMENTS

FINAL DEVELOPMENT PLAN

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LIGHTING PHOTOMETRIC PLAN

SCALE: 1" = 40'-0"

PHOTOMETRY PLAN NOTES:

- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH MINIMAL GLARE ONTO ADJACENT PROPERTIES.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO THE FOLLOWING REQUIREMENTS:
Adams County Lighting Requirements

SITE PHOTOMETRIC

APRIL 29, 2016

SHEET 13 OF 14

**Stewart Title Guaranty Company
Commercial Lien Affidavit**

File Number: 01330-46203

Subject Property: SEE EXHIBIT "A" ATTACHED HERETO

State of Colorado)
County of) ss.

Before me, the undersigned authority, on this day personally appeared School District No. Nine (9) n/k/a Adams County School District No. 50, a Body corporate and Politic of the State of Colorado and a Public School District, as to Parcel I(a); School District No. Ninety-Eight (98) n/k/a Adams County School District No. 50, a Body Corporate and Politic of the State of Colorado and a Public School District, as to Parcel I(b); School District Number Fifty (50) and School District No. 50, as to Parcel II; Adams County School District No. 50, as to Parcel III

as Seller, personally known to me to be the entity or person whose name is subscribed hereto and upon my oath deposes and says that no proceedings in Bankruptcy or Receivership have been instituted by or against it and represents to Stewart Title Guaranty Company, the title company in this transaction, that to my knowledge, there are:

1. No unpaid debts for plumbing fixtures, water heaters, floor furnaces, lawn sprinkling systems, venetian blinds, window shades, draperies, electric appliances, fences, street paving, or any personal property or fixtures that are located on the subject property described above, and that no such items have been purchased on time-payment contracts, and there are no security interests such property secured by financing statements, security agreements or otherwise, which have been contracted for by the Seller, except the following:

Secured Party	Approximate Amount

2. No loans or liens (including Federal or State Tax Liens and Judgment Liens) and no unpaid governmental or association taxes or assessments of any kind on such property, except the following caused by Seller:

Creditor	Approximate Amount

3. No parties in possession, other than affiant, except as follows:

4. No unpaid labor or material claims against the improvements or the property upon which the same are situated, which have been contracted for by the Seller, and all sums of money due for the erection of improvements have been fully paid and satisfied, except as follows:

INDEMNITY:

To the extent allowed by law, Seller agrees to pay on demand to Stewart Title Guaranty Company, its successors and/or assigns, all amounts secured by any and all liens not shown above, and of which the undersigned has knowledge, together with all costs, loss and attorney's fees that said parties may incur in connection with such unmentioned liens, provided said liens either currently apply to such property, or a part thereof, or are subsequently established against said property and are created by the Seller, or has an inception date prior to the consummation of this transaction.

If Seller is an entity, I have the authority to sign on its behalf.

See Attached Signature and Notary Addendum

STATE OF COLORADO

COUNTY OF DENVER

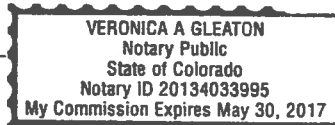
The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Larry Dean Valente as President, Board of Education and Ryan McCoy, Secretary, Board of Education on behalf of School District No. Nine (9) n/a Adams County School District No. 50, a Body Corporate and Politic of the State of Colorado and a Public School District.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

May 30, 2017

[Signature]
Notary Public



STATE OF COLORADO

COUNTY OF DENVER

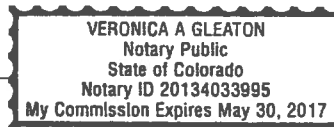
The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Larry Dean Valente as President, Board of Education and Ryan McCoy, Secretary, Board of Education on behalf of Education of School District Number Fifty (50) and School district No. 50.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

May 30, 2017

[Signature]
Notary Public



STATE OF COLORADO

COUNTY OF DENVER

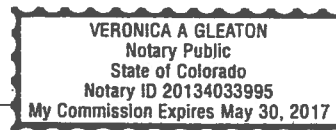
The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Larry Dean Valente as President, Board of Education and Ryan McCoy, Secretary, Board of Education on behalf of Adams County School District No. 50.

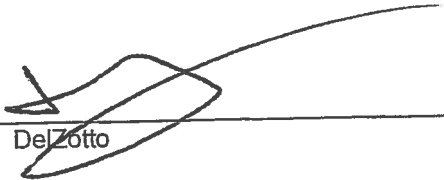
WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

May 30, 2017

[Signature]
Notary Public





Joseph A. DelZotto
Manager

State of Colorado
County of Denver

The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Joseph A. DelZotto, who is the Manager of West 64th Investments LLC, a Colorado limited liability company

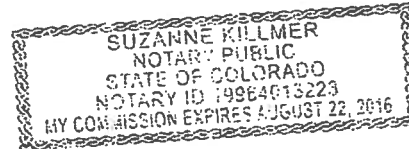
Witness my hand and official seal.



Notary Public:

My commission expires:

8-22-2016



REAL PROPERTY TRANSFER DECLARATION - (TD-1000)

GENERAL INFORMATION

Purpose: The Real Property Transfer Declaration provides essential information to the county assessor to help ensure fair and uniform assessments for all property for property tax purposes. Refer to 39-14-102(4), Colorado Revised Statutes (C.R.S.).

Requirements: All conveyance documents (deeds) subject to the documentary fee submitted to the county clerk and recorder for recordation must be accompanied by a Real Property Transfer Declaration. This declaration must be completed and signed by the grantor (seller) or grantee (buyer). Refer to 39-14-102(1)(a), C.R.S.

Penalty for Noncompliance: Whenever a Real Property Transfer Declaration does not accompany the deed, the clerk and recorder notifies the county assessor who will send a notice to the buyer requesting that the declaration be returned within thirty days after the notice is mailed.

If the completed Real Property Transfer Declaration is not returned to the county assessor within the 30 days of notice, the assessor may impose a penalty of \$25.00 or .025% (.00025) of the sale price, whichever is greater. This penalty may be imposed for any subsequent year that the buyer fails to submit the declaration until the property is sold. Refer to 39-14-102(1)(b), C.R.S.

Confidentiality: The assessor is required to make the Real Property Transfer Declaration available for inspection to the buyer. However, it is only available to the seller if the seller filed the declaration. Information derived from the Real Property Transfer Declaration is available to any taxpayer or any agent of such taxpayer subject to confidentiality requirements as provided by law. Refer to 39-5-121.5, C.R.S. and 39-13-102(5)(c), C.R.S.

1. **Address and/or legal description of the real property sold:** Please do not use P.O. box numbers.

3555 West 64th Avenue, Denver, CO 80221-2117

2. **Type of property purchased:**

Single Family Residential Townhome Condominium Other _____
 Multi-Unit Res Commercial Industrial
 Agricultural Mixed Use Vacant Land

3. **Date of closing:** December 15, 2015

Date of contract if different than closing: _____

4. **Total sale price:** Including all real and personal property. **\$800,000.00**

5. **Was any personal property included in the transaction?** Personal property would include, but is not limited to, carpeting, draperies, free standing appliances, equipment, inventory, furniture. If the personal property is not listed, the entire purchase price will be assumed to be for the real property as per 39-13-102, C.R.S.
 Yes No If yes, approximate value \$ _____ Describe _____

6. **Did the total sale price include a trade or exchange of additional real or personal property?** If yes, give the approximate value of the goods or services as of the date of closing.
 Yes No If yes, value \$ _____

If yes, does this transaction involve a trade under IRS Code Section 1031? Yes No

7. **Was 100% interest in the real property purchased?** Mark "no" if only a partial interest is being purchased.
 Yes No If no, interested purchased _____%
A PORTION SUBJECT TO A REVERSIONARY INTEREST

8. **Is this a transaction among related parties?** Indicate whether the buyer or seller are related. Related parties include persons within the same family, business affiliates, or affiliated corporations.
 Yes No

9. **Check any of the following that apply to the condition of the improvements at the time of purchase.**
 New Excellent Good Average Fair Poor Salvage Vacant land.

If the property is financed, please complete the following.

10. **Total amount financed.** N/A

11. **Type of financing:** (check all that apply)

New
 Assumed
 Seller
 Third Party
 Combination; Explain _____

SPECIAL WARRANTY DEED

THIS DEED is dated the 14th day of DECEMBER, 2015, and is made between (whether one, or more than one),

School District No. Ninety-Eight (98) n/k/a Adams County School District No. 50, a Body Corporate and Politic of the State of Colorado and a Public School District, as to Parcel I; School District Number Fifty (50) and School District No. 50, as to Parcel II; Adams County School District No. 50, as to Parcel III

the "Grantor" of the County of Adams and State of Colorado and West 64th Investments LLC, a Colorado limited liability company

(whether one, or more than one), the "Grantee", whose legal address is 155 S. Madison St., Suite 326, Denver, CO 80206 of the County of Denver and State of Colorado.

WITNESS, that the Grantor, for and in consideration of the sum of Eight Hundred Thousand Dollars and No Cents (\$800,000.00), the receipt and sufficiency of which is hereby acknowledged, hereby grants, bargains, sells, conveys and confirms unto the Grantee and the Grantee's heirs and assigns forever, all the real property, together with any improvements thereon, located in the City and County of Adams and State of Colorado described as follows:

See Exhibit "A" attached hereto and made a part hereof

also known by street address as: 3555 West 64th Avenue, Denver, CO 80221-2117, 3447 West 64th Avenue, Denver, CO 80221

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversions, remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the Grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the Grantee, and the Grantee's heirs and assigns forever, The Grantor, for the Grantor and the Grantor's heirs and assigns, does covenant, grant, bargain, and agree that the Grantor shall and will WARRANT THE TITLE AND DEFEND the above described premises, in the quiet and peaceable possession of the Grantee and the heirs and assigns of the Grantee, against all and every person or persons claiming the whole or any part thereof, by, through, or under the Grantor except and subject to:

See Exhibit "B" attached hereto and made a part hereof

IN WITNESS WHEREOF, the Grantor has executed this deed on the date set forth above.

See attached Signature Addendum

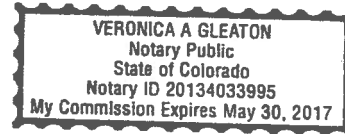
State of Colorado County of

The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Adams County School District No. 50.

Witness my hand and official seal

Notary Public My commission expires:

May 30 2017



STATE OF COLORADO

COUNTY OF DENVER

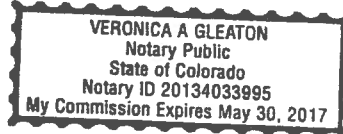
The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Larry Dean Valente as President, Board of Education and Ryan McCoy, Secretary, Board of Education on behalf of School District No. Nine (9) n/a Adams County School District No. 50, a Body Corporate and Politic of the State of Colorado and a Public School District.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

May 30, 2017


Notary Public



STATE OF COLORADO

COUNTY OF DENVER

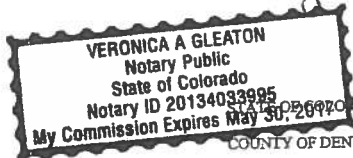
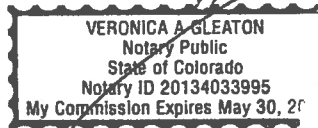
The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Larry Dean Valente as President, Board of Education and Ryan McCoy, Secretary, Board of Education on behalf of Education of School District Number Fifty (50) and School district No. 50.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

May 30, 2017


Notary Public



STATE OF COLORADO

COUNTY OF DENVER

The foregoing instrument was acknowledged before me this 14th day of December, 2015 by Larry Dean Valente as President, Board of Education and Ryan McCoy, Secretary, Board of Education on behalf of Adams County School District No. 50.

WITNESS MY HAND AND OFFICIAL SEAL.

My commission expires:

May 30, 2017


Notary Public

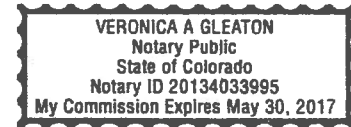


EXHIBIT "B"
DEED EXCEPTIONS

1. Taxes for the year 2015, and subsequent years; special assessments or charges not certified to the County Treasurer.
2. Reservations or exceptions contained in an *unrecorded* U.S. Patent dated November 8, 1881, or in Acts authorizing the issuance thereof, reserving all mineral lands should any such be found to exist in the tracts described in the foregoing, but this exclusion and exception according to the terms of the Statute "shall not be construed to include coal and iron land".
3. Reservations, covenants and agreements contained in Deed to Eugenie Putz recorded October 2, 1878.
4. Utility Easement recorded July 14, 1975 in Book 2005 at Page 548.
NOTE: As to Parcel II
5. Easement granted to B. B. Evans, as Receiver of North Federal Water System recorded August 2, 1950 in Book 400 at Page 30. Note: As to Parcel III

TRANSFEROR'S CERTIFICATION OF NON-FOREIGN STATUS

FEDERAL FIRPTA CERTIFICATE

Section 1445 of the Internal Revenue Code provides that a transferee of a U.S. real property interest must withhold tax if the transferor is a foreign person. For U.S. tax purposes (including Section 1445), the owner of a disregarded entity (which has legal title to a U.S. real property interest under local law) will be the transferor of the property and not the disregarded entity. To inform West 64th Investments LLC, a Colorado limited liability company ("Transferee"), that withholding of tax under Section 1445 of the Internal Revenue Code of 1986, as amended ("Code") will not be required upon the transfer by Adams County School District No. 50 ("Transferor"), of certain interests in real property to Transferee, the undersigned hereby certifies the following on behalf of Transferor:

1. Transferor is not a foreign corporation, foreign partnership, foreign trust, foreign estate or foreign person (as those terms are defined in the Code and Income Tax Regulations promulgated thereunder);
2. Transferor is not a disregarded entity as defined in § 1.1445-2(b)(2)(iii) of the Internal Revenue Code Regulations; and
3. Transferor's U.S. employer or tax (social security) identification number is: 84-6000839
4. Transferor's office address is the following: 6933 Raleigh Street, Westminster, CO 80030

Transferor understands that this Certification may be disclosed to the Internal Revenue Service by Transferee and that any false statement contained herein could be punished by fine, imprisonment or both.

Under penalties of perjury, the undersigned in the capacity set forth below, hereby declares that he has examined this certification and to the best of his knowledge and belief it is true, correct, and complete, and the undersigned further declares that he has authority to sign this document on behalf of Transferor in such capacity.

Dated: December 15, 2015

TRANSFEROR:

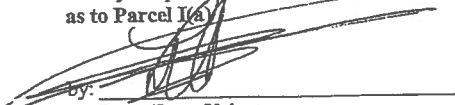
See attached Signature Addendum

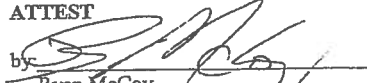
Information with Respect to a Conveyance of a Colorado Real Property Interest

1. Transferor's Last Name Adams County School District No. 50		First Name		Middle Initial	
Address 6933 Raleigh Street		City Westminster	State CO	Zip 80030	
Spouse's Last Name		First Name		Middle Initial	
Address		City	State	Zip	
2. Transferor is (check one): <input type="checkbox"/> Individual <input type="checkbox"/> Estate <input type="checkbox"/> Corporation <input type="checkbox"/> Trust <input type="checkbox"/> Other (specify) _____					If other, please specify _____
3. SSN		Colorado Account Number		4. FEIN 84-6000839	
5. Type of property sold Vacant				6. Date of closing (MM/DD/YY) 12/15/2015	
7. Address or legal description of property sold Property Address 3555 West 64th Avenue Denver, Colorado 80221 3447 West 64th Avenue Denver, Colorado 80221		City Denver	State Colorado	Zip 80221-2117	
8. Selling price of the property				\$800,000.00	
9. Selling price of this transferor's interest				\$800,000.00	
10. If Colorado tax was withheld, check this box <input type="checkbox"/>					
11. Amount of tax withheld				\$0.00	
12. If withholding is not made, give reason (check one):					
a. Affirmation of Colorado residency signed				<input type="checkbox"/>	
b. Affirmation of permanent place of business signed				<input checked="" type="checkbox"/>	
c. Affirmation of principal residence signed				<input type="checkbox"/>	
d. Affirmation of partnership signed				<input type="checkbox"/>	
e. Affirmation of no tax reasonably estimated to be due or no gain on sale signed				<input type="checkbox"/>	
f. No net proceeds				<input type="checkbox"/>	
13. Title Insurance Company Stewart Title - Denver - Commercial			Phone Number (303) 331-0333		
Address 55 Madison Street, Suite 400		City Denver	State CO	Zip 80206	
File this form together with Form 1079, if applicable, within 30 days of the closing date with the Colorado Department of Revenue Denver, CO 80261-0005					


Signature Addendum


School District No. Nine (9) n/k/a Adams County School District No. 50,
a Body Corporate and Politic of the State of Colorado and a Public School District,
as to Parcel I(a)

by: 
Larry Dean Valente
President, Board of Education


ATTEST
by: 
Ryan McCoy
Secretary, Board of Education

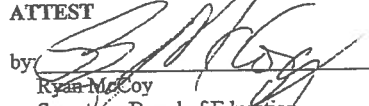
School District No. Ninety-eight (98) n/k/a Adams County School District No. 50,
a Body Corporate and Politic of the State of Colorado and a Public School District,
as to Parcel I(b)

by: 
Larry Dean Valente
President, Board of Education


ATTEST
by: 
Ryan McCoy
Secretary, Board of Education

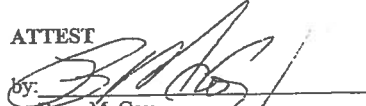
School District Number Fifty (50) and School District No. 50,
as to Parcel II

by: 
Larry Dean Valente
President, Board of Education

ATTEST
by: 
Ryan McCoy
Secretary, Board of Education

Adams County School District No. 50,
As to Parcel III

by: 
Larry Dean Valente
President, Board of Education

ATTEST
by: 
Ryan McCoy
Secretary, Board of Education



Stewart Title Guaranty Company Commercial Services
(Denver)
55 Madison Street, Suite 400
Denver, CO 80206

Date: April 28, 2016
File Number: 16000310287
Property: 3555 West 64th Avenue, Denver, CO 80221
3447 West 64th Avenue, Denver, CO 80221

Please direct all Title inquiries to:

Laura Rihel
Phone: (303) 780-4041
Email Address: LRihel@stewart.com

OWNER:

West 64th Investments LLC, a Colorado limited liability
company
Attn: Tracy Garcia
Attn: Derrell Schreiner
Delivery Method: Emailed

ATTACHED PLEASE FIND THE FOLLOWING:

Informational Title Commitment
Linked Documents

We Appreciate Your Business and Look Forward to Serving You in the Future.

ALTA Commitment Form
COMMITMENT FOR TITLE INSURANCE
Issued by
STEWART TITLE GUARANTY COMPANY

STEWART TITLE GUARANTY COMPANY, a Texas Corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate six months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

This Commitment shall not be valid or binding until countersigned by a validating officer or authorized signatory.

IN WITNESS WHEREOF, Stewart Title Guaranty Company has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A.

Countersigned by:


Authorized Countersignature

stewart
title guaranty company




Matt Morris
President and CEO

Stewart Title Guaranty Company
Commercial Services (Denver)
55 Madison Street, Suite 400
Denver, CO 80206
(303) 331-0333
Agent ID: 06J050


Denise Carraux
Secretary



CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. *The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at <<http://www.alta.org/>>.*

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at P.O. Box 2029, Houston, Texas 77252.

**COMMITMENT FOR TITLE INSURANCE
SCHEDULE A**

File No.: 16000310287

1. Effective Date: April 25, 2016, at 5:30 P.M.

2. Policy or Policies to be issued:

Amount of Insurance

(a) ALTA Owner's Policy

(b) ALTA Loan Policy

3. The estate or interest in the land described or referred to in this Commitment and covered herein is:

Fee Simple

4. Title to the referenced estate or interest in said land is at the effective date hereof vested in:

West 64th Investments LLC, a Colorado limited liability company

5. The land referred to in this Commitment is described as follows:

See Attached Legal Description

Purported Address:
3555 West 64th Avenue
Denver, CO 80221
3447 West 64th Avenue
Denver, CO 80221

STATEMENT OF CHARGES

These charges are due and payable
before a policy can be issued

Informational Commitment Rate
Informational Commitment Fee: \$500.00

(Sch. # R0188140, R0188141,
R0100507, R0100508 and
R0100510)

SCHEDULE A
LEGAL DESCRIPTION

PARCEL I

BEGINNING at a point thirty (30) feet north and one hundred and thirty six (136) feet East of the Southwest corner of the Southwest quarter of the Southwest quarter of Section Five (5) in Township Three (3) South, Range Sixty Eight (68) West of the Sixth Principal Meridian, County of Adams, State of Colorado; thence running East on the North line of the County Road, Ninety Eight (98) feet; thence North two hundred and eighty one (281) feet; thence West two hundred and four (204) feet; thence South on the East line of the County Road one hundred and fifty one (151) feet; thence East one hundred and six (106) feet; thence South one hundred and thirty (130) feet to the PLACE OF BEGINNING, County of Adams, State of Colorado.

PARCEL II:

Tracts 28 and 29,
[North Lowell Heights Addition](#),
County of Adams,
State of Colorado

PARCEL III:

Tract 30,
[North Lowell Heights Addition](#),
County of Adams,
State of Colorado

EXCEPT the South 150 feet of the West 82 feet thereof.

FURTHER EXCEPTING therefrom all that portion conveyed to Adams County, a political body, by Resolution and Deed recorded March 20, 1973 in [Book 1852 at Page 82](#), Adams County, Colorado records.

COMMITMENT FOR TITLE INSURANCE
SCHEDULE B
PART I

File No.: 16000310287

The following are the requirements to be complied with:

1. Payment to or for the account of the grantor(s) or mortgagor(s) of the full consideration for the estate or interest to be insured.
2. Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record:

NONE

NOTE: This product is for informational purposes only. It is not a title insurance product and does not provide any form of coverage. This product is not a guarantee or assurance and does not warrant, or otherwise insure any condition, fact or circumstance. This product does not obligate this Company to issue any policies of title insurance for any subsequent transaction based on the information provided or involving the property described herein. This Company's sole liability for any error(s) relating to this product is limited to the amount that was paid for this product.



COMMITMENT FOR TITLE INSURANCE
SCHEDULE B
PART II

File No.: 16000310287

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Rights or claims of parties in possession, not shown by the public records.
2. Easements, or claims of easements, not shown by the public records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land and not shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) minerals of whatsoever kind, subsurface and surface substances, in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not the matters excepted under (a), (b) or (c) are shown by the Public Records or listed in Schedule B.
7. Water rights, claims or title to water.
8. Any and all unpaid taxes and assessments and any unredeemed tax sales.
9. Reservations or exceptions contained in an *unrecorded* [U.S. Patent dated November 8, 1881](#), or in Acts authorizing the issuance thereof, reserving all mineral lands should any such be found to exist in the tracts described in the foregoing, but this exclusion and exception according to the terms of the Statute "shall not be construed to include coal and iron land".
NOTE: The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
10. Reservations, covenants and agreements contained in Deed to Eugenie Putz [recorded October 2, 1876](#).
11. Restriction recited in Deed from Madam Eugenie Putz to School District No. Nine (9), [recorded March 17, 1877](#).
NOTE: As to Parcel I (a).
12. Utility Easement recorded July 14, 1975 in [Book 2005 at Page 548](#).
NOTE: As to Parcel II.
13. The following matters disclosed by ALTA/ACSM Land Title Survey dated May 7, 2015, 15, prepared by Thomas M. Girard for and on behalf of Core Consultants, Inc.. as [Job No. 14-053](#), to wit:
 - a) Fencing as now located does not coincide with the boundary lines of subject property.
 - b) Planters as now located along the Southerly boundary encroach into the adjoining property to the South.
14. Easement granted to B. B. Evans, as Receiver of North Federal Water System recorded August 2, 1950 in [Book 400 at Page 30](#).
NOTE: As to Parcel III.



COMMITMENT FOR TITLE INSURANCE
SCHEDULE B
PART II

15. Resolution 2015-529, Approving Application in Case #PRC2015-00010 Baker/Del West recorded December 11, 2015 at [Reception No. 2015000103733](#) and Resolution 2015-559 recorded January 15, 2016 at [Reception No. 2016000003830](#).
16. Any existing leases or tenancies, and any and all parties claiming by, through or under said lessees. .





Stewart Title Guaranty Company
55 Madison Street, Suite 400
Denver, CO 80206
(303) 331-0333 Phone
(303) 331-9867 Fax

MINERAL DISCLOSURE

To comply with the provisions of C.R.S. 10-11-123, the Company makes the following disclosure:

- a. That there is recorded evidence that a mineral estate has been severed, leased or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- b. That such mineral estate may include the right to enter and use the property without the surface owner's permission.

NOTE: THIS DISCLOSURE APPLIED ONLY IF SCHEDULE B, SECTION 2 OF THE TITLE COMMITMENT HEREIN INCLUDES AN EXCEPTION FOR SEVERED MINERALS.



CRESTVIEW WATER & SANITATION DISTRICT

Derrell Schreiner
Del-West Developments
155 S. Madison Street #326
Denver, CO 80209

September 29, 2014

Re: Water and Sanitary Sewer Service, Baker Elementary School Parcel, 3555 W. 64th Avenue

To Whom It May Concern:

Please be advised that Crestview Water and Sanitation District is willing to provide water and sanitary sewer service to the proposed Baker Elementary School parcel redevelopment project, 3555 W. 64th Avenue in Adams County, Colorado that is currently within the Crestview boundaries.

It will be necessary for the land owner/developer to install adequate water and sanitary sewer mains in accordance with District Rules and Regulations and engineering requirements. The land owner/developer is responsible for all engineering studies and plan development/review costs. All water and sewer mains and appurtenances shall be installed at the land owner/developer's expenses and deeded free and clear to the District prior to the issuance of any water or sewer taps.

Current connection fees can be provided by contacting our office. If you have any questions or require additional information, please contact our office.

Sincerely,

Mitchell T. Terry
District Manager