

November 23, 2022

Adams County – Community & Economic Development Department
Attn: Layla Bajelan
4430 S Adams County Pkwy
Brighton, CO 80601

Re: **Midtown, Filing No. 12 – 3rd Review Comments**
Project Number: PRC2020-00008

Dear Ms. Bajelan,

Thank you for taking the time to review the Midtown Filing No. 12 Final Development Plan and Final Plat, along with County staff. Valuable feedback was received on November 14th, 2022. Detailed responses to comments have been noted on the following pages. Should you have any questions or concerns, please feel free to reach out via phone, 303-892-1166 or by email, emather@norris-design.com.

Sincerely,
Norris Design



Eva Mather
Principal

Development Review Team Comments –3rd Review

Commenting Division: Planning and Development

Name of Reviewer: Layla Bajelan, Senior Long Range Planner

Email: lbajelan@adcogov.org / 720-523-6863

PLN01: Final Development Plan should include all of the information for the development that was outlined in the Preliminary Development Plan. It appears the following information was included in the Preliminary Development Plan, but is not included in this Final Development Plan. Please ensure all other information is included.

- Information on Accessory Structures
- Language on Accessory Dwelling Units was included in the PDP, is this applicable to this FDP? If not, specify.
- Information on fencing types and locations allowed (must set parameters)
- Minimum lot widths and lot size should be outlined in the FDP (without this information, the plat cannot be adequately reviewed, and additional comments may be provided on future reviews) The FDP only sets a range for minimum square footage for the townhomes.

Response: Additional information regarding lot widths and lot sizes are detailed on Sheet 22 and fencing parameters have been provided on Sheet 31.

PLN02: Applicant needs to remove all the references to the 2nd and 3rd Amendment. This is not needed within the FDP and the FDP should reflect the most recently approved version. Someone reviewing the FDP should not have to reference the PDP for any requirements.

Response: All references to the 2nd and 3rd amendments to the PDP have been removed.

PLN03: All references and notes to parking on Zuni Street need to be removed from the FDP. This street is outside of the development and on-street parking is not guaranteed and therefore, should not be included in the parking counts.

Response: References and notes to parking on Zuni Street have been removed.

PLN04: Staff has concerns over the parking provided within this filing. There appears to only be 20 offstreet parking spaces provided for the visitors of these units and the visitors of the park.

Response: Parking meets the requirements for the PDP, exceeding 2.5 spaces per unit in this filing and for the community overall. Filing 12 provides 2.95 spaces per unit and Midtown provides 3.87 spaces overall. Parking surrounds the park via on-street and off-street parking spaces on the north, east and west and multi-modal trail access on the south. The park is a Midtown Metro District amenity and the amount of parking provided is sufficient for Midtown residents, visitors and park users.

PLN05: Please include more information on the active open space provided within. There should be a narrative on what makes the open space active.

Response: Additional information has been provided on Sheet 18 describing the areas that are being proposed as active open space, as well as on the narrative of Sheet 2.

PLN06: Sheet 2, A- This section was added in this review and is confusing. I believe it may be missing some detail? "Together with all 11.5 acres of park and open space in Filing 11, , this open space and park will be 32.5 acres."

Response: This section has been reworded to explain that Filing 12 with Filing 6 equals 32.5 acres of open space overall.

PLN07: Sheet 2, E- This section notes that the parking summary is located on sheet 28 and that is incorrect. Please review all section references in the FDP to ensure they are correct with the revised document.

Response: A detailed parking exhibit has been included on Sheet 32.

PLN08: Sheet 2, H This section noted that monument details are on sheet 27, which is incorrect. Please ensure that parameters for the signage that includes maximum height and width and materials is included in the narrative or sheet 30.

Response: Sheet 30 has been updated to provide signage parameters.

PLN09: Sheet 2, M- Why would the director be approving overall architectural intent.

Response: This sentence has been removed.

PLN10: Sheet 3, on street parking should not count towards the totals. Public Works has not agreed to on street parking on Zuni. Please provide documentation stating such or remove from totals. Staff has concerns over the amount of parking provided for visitors and the park guests.

Response: Parking on Zuni Street is no longer being included in the parking totals. Parking surrounds the park via on-street and off-street parking spaces on the north, east and west and multi-modal trail access on the south. The park is a Midtown metro-district amenity and the amount of parking provided is sufficient for Midtown residents, visitors and park users.

PLN11: Sheet 3, Staff does not agree that sodded areas count towards active open space. The FDP has 100% for % of minimum required open space that is active. Please define how this is active.

Response: Per conversation with Layla Bajelan on November 18th, all sod is not being counted towards active open space. The Open Space Summary table on Sheet 3 states that Filing 12 active open space is meeting 100% of the active space required for this filing. Please also refer to Sheet 18 for a supporting exhibit.

PLN12: Sheet 3, the FDP does not do a great job of describing/illustrating the open space or active open space. Staff believes that a ball field/ playfield is now being proposed, but the image does a poor job of portraying such. Clear Creek Valley PDP is a great example of how the open space was defined in a way that adequately showed the minimums are being met and high-quality areas are being proposed.

Response: The Park Overall Plan on Sheet 18 has been revised to clearly show open space areas versus active open space areas, also including narratives on reasons some parts are active open space or general open space.

PLN13: Sheet 9- Please remove this language from the note or provide documentation stating is approved by Public Works. "IT IS ASSUMED PARKING WILL BE PERMITTED ON THE SOUTH AND WEST SIDES OF 70TH AVE AND ZUNI STREET."

Response: Note has been removed.

PLN14: Sheet 18- Improvements should be made to this sheet to better define the open space and active open space.

Response: The Park Overall Plan on Sheet 18 has been revised to clearly show open space areas versus active open space areas, also including narratives on reasons some parts are active open space or general open space.

PLN15: Sheet 19- Staff is confused what tree lawns are being proposed by the individual units. Isn't this all Tract A?

Response: Maintenance and responsibility table has been updated per conversation with Layla on November 18, 2022.

PLN16: Sheet 19, Note 7 is this supposed to reference MCCMD?

Response: This note is updated to reference MMD.

PLN17: Sheet 20 and 21- Lot typicals with setbacks were removed from sheet 22 and it would be helpful for building permit reviewers if they were added back to the FDP or if they were included on images on page 20 and 21.

Response: Setback and Height Restrictions Table and lot typicals have been included on Sheet 22.

PLN18: Sheet 22- Below the table it states “refer to the second amendment to the PDP for full list of notes”. They should be included on the FDP as well.

Response: Notes section has been updated.

PLN19: It has been an issue up with other PUDs that many FDPs do not set parameters for the shelters, play structures, etc. We need parameters on maximum height, setbacks, etc. within the FDP to adequately review permits.

Response: Setback and Height Restrictions Table and lot typicals have been included on Sheet 22 as well as updated restrictions on Sheet 2 of the narrative.

PLN20: Please specific where each elevation is to be located within the FDP.

Response: Our team is working to identify which elevation would be built on which site. This information will be updated with our next resubmittal.

PLN21: Sheet 2, M- Why would the director be approving overall architectural intent.

Response: This sentence has been removed.

PLN22: The final plat and the final development plan should be consistent with the ownership and maintenance. For example, the FDP states the MMD and the plat states the CCSMD. Why are there two different names?

Response: Final Plat and FDP have been updated to only reflect MMD moving forward.

PLN23: Due to conflict with the installation of the park and open space facilities, staff would require the park improvements to be within the SIA. The County needs reassurance that the amenities will be put into place.

Response: Brookfield is discussing terms of acceptance with the Metro District. It is understood that if an agreement is not finalized with the Metro District, additional conditions will need to be incorporated into the SIA.

PLN24: Staff will be sending the case out again for referral and public comment. Please do not resubmit on this case without having all of the comments addressed from that submittal. To avoid confusion, this review is staff only.

Response: We understand that this review was not sent out for referral, however per discussion with Layla Bajelan on 11/18/22, we discussed the ability to revise the FDP and Final Plat to address these comments and updating the referral case during the current referral period.

Commenting Division: Planning and Development

Name of Reviewer: Matt Emmens, Senior Civil Engineer

Email: MEmmens@adcogov.org / 720-523-6826

ENG1: Engineering Review application EGR2022-00027 has been received and is currently under review.

Comments will be provided separately for the engineering submittal. All engineering concerns must be resolved prior to scheduling final plat for public hearing.

- Response: Comments received, and responses have been provided with this submittal.
- County Response: The construction documents are still under review. Comments will be forwarded to the applicant when the review is complete. Please note, the engineering review (EGR Case) is a separate review case than the FDP case. Construction plans must be made through a separate submittal.

Response: Noted, thank you.

ENG2: Remove the following statement from the FDP: “a signalized intersection at West 67th Avenue moves motorists through the central West 67th Avenue corridor and away from the existing neighborhood and 68th Avenue”. Filing 12 has no connection to W 67th Ave.

- Response: Statement has been removed.
- County Response: Comment Closed.

ENG3: Remove reference to on-street parking on 70th Avenue and Zuni Street from the FDP. These are public streets not within the subdivision or FDP limits. Remove presumed parking on 70th Ave and Zuni Street from parking count tables and all other sheets in the FDP.

- Response: On-street parking on 70th and Zuni have been removed from the plan.
- County Response: Zuni street Parking is still referenced on sheet 3.

Response: Zuni Street parking has been removed.

ENG4: The FDP must state that the metro district or private property owners are responsible for maintaining the curb, gutter, sidewalk and landscaping within the public right-of-way abutting their property. Also note that Adams County is not responsible for repairing or maintaining landscaping that is damaged as a result of roadway maintenance activities, including but not limited to de-icing chemicals and street repairs.

- Filing 6 FDP noted “Homeowner of land abutting constructed public right-of-way is responsible for maintenance of curb, gutter, and sidewalk along the right-of-way abutting their property including snow removal for pedestrian access.”
- Response: Text has been updated per redlines.
- County Response: Comment Closed.

- Third Amendment to the PDP noted “Private lot owners shall be responsible for the maintenance of their property as well as adjacent tree lawn area(s). Maintenance of the tree lawn between front property line and street shall be the primary responsibility of the homeowner in most circumstances under the requirements of the Metro District covenants. Adams County is not responsible for repairing or maintaining landscaping that is damaged as a result of roadway maintenance activities, including but not limited to de-icing chemicals and street repairs.”
- Response: Text has been updated per redlines.
- County Response: Comment Closed.

ENG5: Indicate maintenance and billing responsibilities for proposed streetlights in the Public ROW.

- Response: Maintenance and billing responsibilities will be provided by the Metro District, which will be consistent with other filings.
- County Response: Comment Closed.

ENG6: Why is the developer requesting a pre-plat SIA? Engineering plans and proposed quantities must be approved prior to the approval of any SIA. No building permits will be approved until the plat is approved at a minimum, and preliminary acceptance is granted. All redlines on the SIA draft must be addressed.

- Response: The pre-plat SIA has been eliminated. During the comment review meeting on 6/29/22 it was discussed that Brookfield could obtain an early grading permit.
- County Response: Comment Closed.

ENG7: Remove phasing from the SIA. Public improvements outlined in the agreement must be completed prior to preliminary acceptance. Only a single preliminary acceptance will be granted for the development.

- Response: The phasing has been removed from the SIA.
- County Response: Comment Closed.

ENG8: Engineering quantities are under review with the Engineering Review submittal. Cash-in-lieu was accepted for 70th Ave and Zuni St improvements adjacent to the proposed subdivision with the Midtown at Clear Creek Filing 6 SIA (Rec. No. 2018000006818).

- Response: Comment noted, thank you.
- County Response: the quantities are still under review as part of the EGR case.

Response: Noted, thank you.

ENG9: Easements specified in construction documents must also be depicted on the plat, including storm sewer easements.

- Response: All easements are now reflected on the plat.
- County Response: Comment Closed.

ENG10: All improvements that impact 70th Ave and Zuni Street right-of-way, such as drainage and access, will need to be coordinated with the Adams County CIP team.

- Response: We have met with CIP Team and will continue to coordinate with HCL as information is provided. Will continue to design to continued street section.
- County Response: Comment Closed.

Commenting Division: Public Works

Name of Reviewer: David Dittmer, Right-of-Way Agent

Email: DDittmer@adcogov.org / 720-523-6811

PLT COMMENTS

ROW1: A Title Commitment must be provided prior to subsequent reviews. This has previously requested and not found in the re-submittal packet.

Response: Updated Title Commitment has been provided as requested.

ROW2: No colored ink allowed on plats. Mylar does not reproduce well.

Response: Noted, plat will be printed without color. Thank you.

ROW3: Provide a copy of a recorded statement of authority for the signatory for Midtown Facility LLC. The signature block and notary affirmation must match this information.

Response: Statement of Authority is out for signatures and will be provided once completed and prior to final plat approval.

ROW4: Revise Ownership and Dedication Statement as provided. Refer to the application guidelines for approved statements and requirements

Response: Revised as requested.

ROW5: Type out all names as provided at signature blocks and notary

Response: Revised as requested. Notary names have been left blank, information on who is notarizing is not known at this time. Prior to printing mylars the plat will be updated to include the typed names of the notaries.

ROW6: The preliminary plat should have been approved by the Planning Commission, as such they won't sign the final plat.

Response: Revised as requested.

ROW7: Add county attorney approval block

Response: Revised as requested.

ROW8: Name Bryant St. in Tract Summary Table/land use

Response: Bryant Street name added to ROW dedication in Tract summary table as requested.

ROW9: Type out signatory information for the metro district's acceptance

Response: Revised as requested.

ROW10: Title Storm Drainage Facilities Statement

Response: Revised as requested.

ROW11: Update note for title commitment

Response: Revised as requested. A new title endorsement has been provided for this submittal. Upon staff approval and prior to recordation a new title will be supplied.

ROW12: State on sheets my survey m/b information for Bryant Street and state X' Public ROW Dedicated by this plat

Response: Revised as requested.

ROW13: Provide street name (Bryant) on sheet 5

Response: Revised as requested.

ROW14: Any storm drainage facility constructed must be dedicated to the county and maintained by the metro district. Verify these location have access from a private drive or public ROW for Adams County inspections. Engineering review will need to verify this as well.

Response: The Site proposes to utilize the facility built with Midtown Filing 6. The facility was designed anticipating the future development of Filing 12 therefore no new storm drainage facilities will be required. The existing facility is within Tract F of Midtown Filing 6 and currently has access and easements for Adams County inspections.

FDP COMMENTS:

ROW1: The ownership as provided on the Final Plat does not match the ownership as provided on FDP. They must match.

Response: FDP has been updated to match the Final Plat.

ROW2: Format the signature and notary as provided on final plat and state requirements

Response: Signature and notary blocks are updated to match Final Plat and state requirements.

ROW3: The signature and approval blocks order of appearance.

- a. Owner
- b. Planning Commission
- c. Board of County Commissioners
- d. County Attorney
- e. Clerk and Recorder

Response: Signature blocks have been added and order has been updated.

ROW4: The final plat and the FDP do not state the same metro district. Once is CCSMD and this has MMD. They must be consistent

Response: Metro District has been updated to be consistent on both documents, reading MMD.

ROW5: NO parking on Zuni will be allowed. Remove the statement and number of spaces on Sheet 3 of 30

Response: Zuni Parking has been removed.

Commenting Division: Building Safety Division, Plans Examiner

Name of Reviewer: Heather Whiat

Email: JBlair@adcogov.org / 720-523-6843

BSD1- Building permits would be required for each structure. Engineered plans will be required to obtain permits.

Response: Noted, thank you.

BSD2- Applicant should refer to residential submittal requirements. Here is a link for your reference

<https://epermits.adcogov.org/submittal-checklists>

Response: Noted, thank you.

BSD3- Current adopted codes are the 2018 International Building Codes and the 2017 National Electrical Code.

Response: Noted, thank you.

BSD4- Applicant should contact Fire Department for their requirements. This is a separate permit, review, and inspection with your local fire department.

Response: Noted, thank you.

BSD5- Applicant will need to comply with State of Colorado requirements of Title 9 Article 5. An implementation plan will be required to show compliance.

Response: Noted, thank you.

End of Response to Comments

MIDTOWN AT CLEAR CREEK – FILING NO. 12

CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 9

PURPOSE

THE PURPOSE OF THIS PLAT IS TO REPLAT 1 EXISTING LOT INTO 107 LOTS, 12 TRACTS, AND RIGHT-OF-WAY.

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND SITUATED IN THE EAST HALF OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ALL OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 AS RECORDED JANUARY 18, 2018 AT RECEPTION NO. 201800005760 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE.

CONTAINING AN AREA OF 31.979 ACRES, (1,393,023 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **MIDTOWN AT CLEAR CREEK – FILING NO. 12** AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN, AND THE EASEMENTS AS SHOWN (EXCLUDING THOSE GRANTED AND DEDICATED TO MIDTOWN METROPOLITAN DISTRICT NO. 1), FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

EXECUTED THIS _____ DAY OF _____, 2022.
OWNER: MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY

PETER LAUENER

ACKNOWLEDGEMENT

BY: MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ A.D. 20____, BY PETER LAUENER AS PRESIDENT OF MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

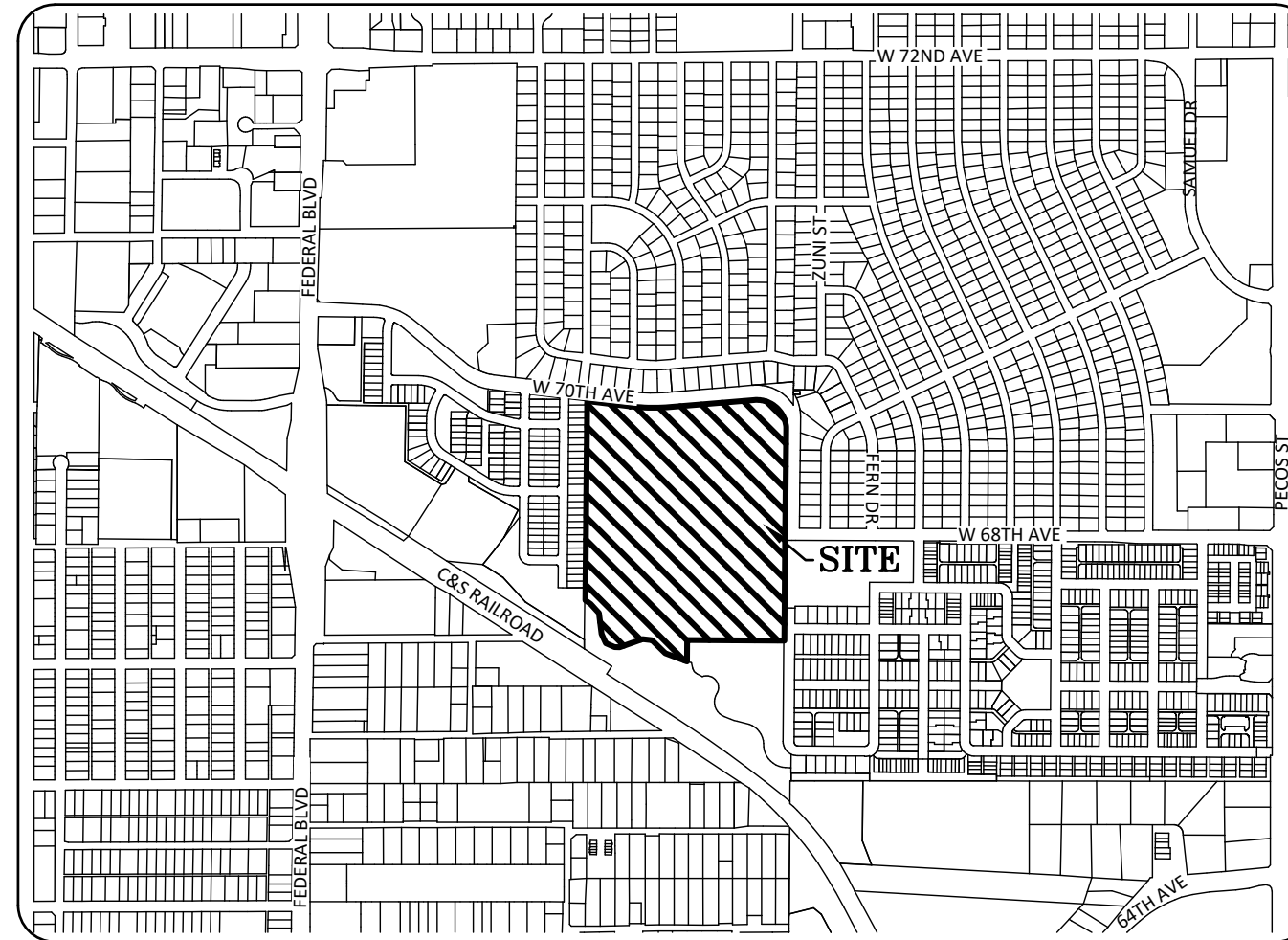
WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

ACKNOWLEDGEMENT AND ACCEPTANCE BY MIDTOWN METROPOLITAN DISTRICT NO. 1

I, MATTHEW ZIELINSKI AS PRESIDENT OF MIDTOWN METROPOLITAN DISTRICT NO. 1, WHICH HAS AN ADDRESS OF 2154 EAST COMMONS AVENUE, SUITE 2000, CENTENNIAL, COLORADO, HEREBY ACKNOWLEDGE AND ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND CONVEYANCE OF THE OPEN SPACE, ACCESS, LANDSCAPING, DRAINAGE, UTILITY AND PEDESTRIAN ACCESS EASEMENTS AS SHOWN WITHIN **MIDTOWN AT CLEAR CREEK – FILING NO. 12**, COUNTY OF ADAMS, STATE OF COLORADO.

BY: _____ DATE: _____
PRESIDENT



VICINITY MAP
1" = 1000'

SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

ANTHONY K. PEALL
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38636
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1898

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS _____ DAY OF _____, A.D., 20____

CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT _____ M. ON THE _____ DAY OF _____ A.D., 20____.

COUNTY CLERK AND RECORDER

BY: _____ RECEPTION NO. _____
DEPUTY

TRACT SUMMARY TABLE

TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	936,014	21.488	OPEN SPACE	MMD NO. 1
B	41,179	0.945	LS/DRAINAGE/PA	MMD NO. 1
C	5,534	0.127	LS/DRAINAGE/PA	MMD NO. 1
D	1,940	0.045	PRIVATE ALLEY/ACCESS	MMD NO. 1
E	1,359	0.031	LS/DRAINAGE/PA	MMD NO. 1
F	25,070	0.576	PRIVATE ALLEY/ACCESS/UTILITY ESMT	MMD NO. 1
G	4,056	0.093	PRIVATE ALLEY/ACCESS	MMD NO. 1
H	4,098	0.094	PRIVATE ALLEY/ACCESS	MMD NO. 1
I	4,098	0.094	PRIVATE ALLEY/ACCESS	MMD NO. 1
J	4,098	0.094	PRIVATE ALLEY/ACCESS	MMD NO. 1
K	2,574	0.059	PRIVATE ALLEY/ACCESS	MMD NO. 1
L	26,347	0.605	PRIVATE ALLEY/ACCESS/UTILITY ESMT	MMD NO. 1
TOTAL TRACT AREA	1,056,367	24.251		MMD NO. 1 - MIDTOWN METROPOLITAN DISTRICT NO. 1 NO. 1
TOTAL LOT AREA	274,174	6.294		
ROW DEDICATION (BRYANT STREET)	62,482	1.434		LS/DRAINAGE/PA = LANDSCAPING, DRAINAGE, PEDESTRIAN ACCESS
TOTAL SITE AREA	1,393,023	31.979		

AZTEC CONSULTANTS, INC.
300 East Mineral Ave, Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No: 54820-02

DATE OF PREPARATION:	2021-12-28								
SCALE:	N/A								
SHEET 1 OF 9									
NO.	REVISION	DATE	BY	CHK	NO.	REVISION	DATE	BY	CHK
2	COUNTY COMMENTS	11/22/22	BOL	AKP					
1	COUNTY&UTIL COMMENTS	9/21/22	BOL	AKP					

FOR REVIEW

MIDTOWN AT CLEAR CREEK – FILING NO. 12

CASE NO. PRC
2020-00008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 9

NOTES

1. BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SIXTEENTH CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.

2. **STORM DRAINAGE FACILITIES STATEMENT:** THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.

3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.

4. AZTEC CONSULTANTS, INC. HAS RELIED UPON TITLE COMMITMENT REPORT POLICY NUMBER OX70615836.1.1891838 PREPARED BY LAND TITLE GUARANTEE COMPANY, EFFECTIVE DATE 11/16/2022 AT 5:00 P.M. (PER ENDORSEMENT 107.12), FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.

5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

6. 6-FOOT WIDE UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY MIDTOWN METROPOLITAN DISTRICT NO. 1. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.

7. THE MIDTOWN METROPOLITAN DISTRICT NO. 1 (MMD NO. 1) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH MMD NO. 1, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN AND LANDSCAPE TRACT BETWEEN FRONT PROPERTY LINE AND STREET SHALL BE THE PRIMARY RESPONSIBILITY OF THE HOMEOWNER UNDER THE REQUIREMENTS OF THE MMD NO. 1 COVENANTS. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS. HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.

8. BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" AND A PORTION LIES WITHIN ZONE AE, BEING DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD" SAID ZONE AE LIMITS AS SHOWN HEREON. LETTER OF MAP REVISION (LOMR) WAS ISSUED FOR THE FLOODPLAIN BOUNDARIES OF THE BASE FLOOD ON FEBRUARY 14, 2019, CASE NO. 18-08-0635P AND LETTER OF MAP REVISION (LOMR) WAS ISSUED FOR THE FLOODPLAIN BOUNDARIES OF THE BASE FLOOD ON NOVEMBER 27, 2020, CASE NO. 19-08-0665P. FLOODPLAIN BOUNDARIES ARE ILLUSTRATED ON SHEET 3.

9. A PORTION OF THIS PLAT IS SUBJECT TO AN ENVIRONMENTAL COVENANT AS RECORDED AUGUST 10, 2007, UNDER RECEPTION NO. 2007000077016.

10. ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY THE MIDTOWN METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE MIDTOWN METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.

ADDRESS TABLE

BLOCK 1		BLOCK 2		BLOCK 3	
LOT	ADDRESS	LOT	ADDRESS	LOT	ADDRESS
1	2677 W. 69th Dr.	1	2643 W. 69th Place	1	6880 Canosa St.
2	2671 W. 69th Dr.	2	2635 W. 69th Place	2	6886 Canosa St.
3	2665 W. 69th Dr.	3	2627 W. 69th Place	3	6894 Canosa St.
4	2659 W. 69th Dr.	4	2619 W. 69th Place	4	6855 Bryant Ct.
5	2653 W. 69th Dr.	5	2611 W. 69th Place	5	6863 Bryant Ct.
6	2654 W. 69th Dr.	6	2603 W. 69th Place	6	6877 Bryant Ct.
7	2660 W. 69th Dr.	7	2597 W. 69th Place	7	6864 Bryant Ct.
8	2666 W. 69th Dr.	8	2585 W. 69th Place	8	6852 Bryant Ct.
9	2672 W. 69th Dr.	9	2571 W. 69th Place		
10	2678 W. 69th Dr.	10	2563 W. 69th Place		
11	2684 W. 69th Dr.	11	2555 W. 69th Place		
12	2679 W. 68th Dr.	12	2547 W. 69th Place		
13	2673 W. 68th Dr.	13	2539 W. 69th Place		
14	2667 W. 68th Dr.	14	2531 W. 69th Place		
15	2661 W. 68th Dr.	15	2523 W. 69th Place		
16	2655 W. 68th Dr.	16	2515 W. 69th Place		
17	2649 W. 68th Dr.	17	2507 W. 69th Place		
18	2650 W. 68th Dr.	18	2491 W. 69th Place		
19	2658 W. 68th Dr.	19	2475 W. 69th Place		
20	2664 W. 68th Dr.	20	2459 W. 69th Place		
21	2670 W. 68th Dr.	21	2443 W. 69th Place		
22	2676 W. 68th Dr.	22	2427 W. 69th Place		
23	2682 W. 68th Dr.	23	2411 W. 69th Place		
24	2681 W. 68th PL.	24	6884 Zuni Ct		
25	2675 W. 68th PL.	25	6878 Zuni Ct		
26	2669 W. 68th PL.	26	6874 Zuni Ct		
27	2663 W. 68th PL.	27	6868 Zuni Ct		
28	2657 W. 68th PL.	28	6864 Zuni Ct		
29	2651 W. 68th PL.	29	6860 Zuni Ct		
30	2656 W. 68th PL.	30	2404 W. 69th Place		
31	2662 W. 68th PL.	31	2420 W. 69th Place		
32	2668 W. 68th PL.	32	2436 W. 69th Place		
33	2674 W. 68th PL.	33	2452 W. 69th Place		
34	2680 W. 68th PL.	34	2468 W. 69th Place		
35	2686 W. 68th PL.	35	2484 W. 69th Place		
36	2677 W. 67th PL.	36	2502 W. 69th Place		
37	2671 W. 67th PL.	37	2510 W. 69th Place		
38	2665 W. 67th PL.	38	2518 W. 69th Place		
39	2659 W. 67th PL.	39	2526 W. 69th Place		
40	2653 W. 67th PL.	40	2534 W. 69th Place		
41	2647 W. 67th PL.	41	2542 W. 69th Place		
42	2652 W. 67th PL.	42	2560 W. 69th Place		
43	2658 W. 67th PL.	43	2568 W. 69th Place		
44	2664 W. 67th PL.	44	2576 W. 69th Place		
45	2670 W. 67th PL.	45	2584 W. 69th Place		
46	2676 W. 67th PL.	46	2592 W. 69th Place		
47	2682 W. 67th PL.	47	2606 W. 69th Place		
		48	2614 W. 69th Place		
		49	2622 W. 69th Place		
		50	2630 W. 69th Place		
		51	2638 W. 69th Place		
		52	2646 W. 69th Place		

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

 300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

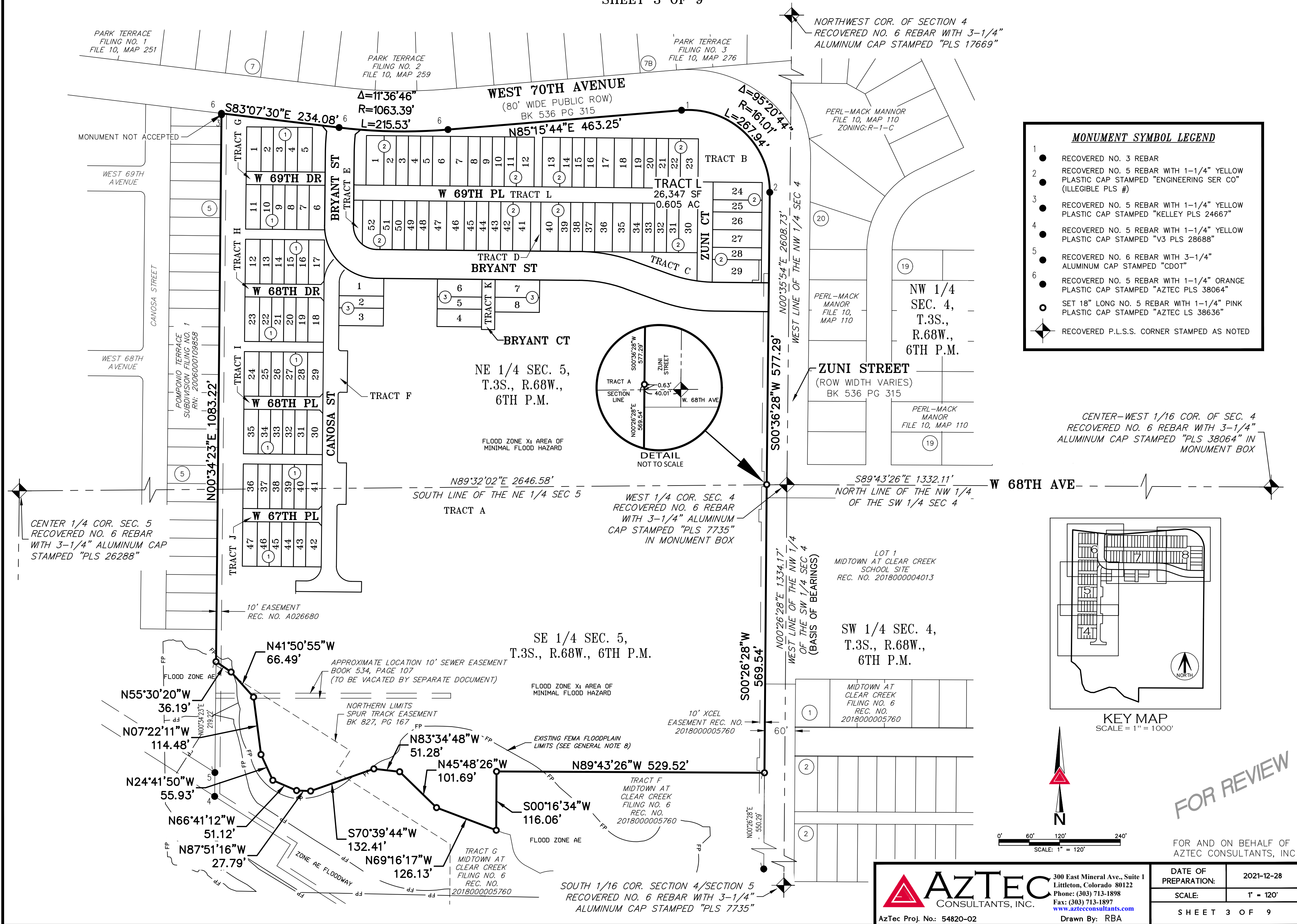
AzTec Proj. No.: 54820-02 Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	N/A
SHEET 2 OF 9	

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

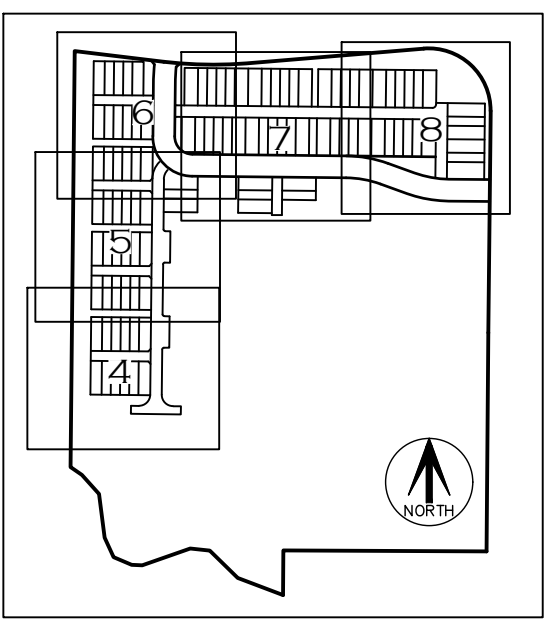
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 9



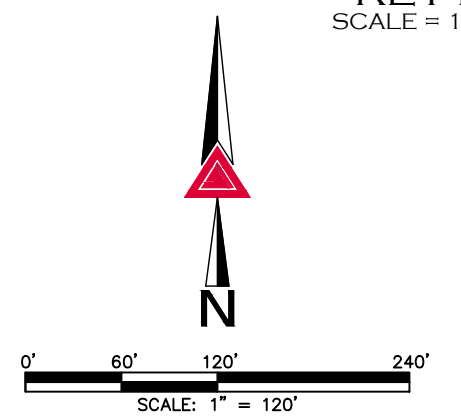
MONUMENT SYMBOL LEGEND

- 1 ● RECOVERED NO. 3 REBAR
- 2 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- 3 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- 4 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- 5 ● RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- 6 ● RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

CENTER-WEST 1/16 COR. OF SEC. 4
RECOVERED NO. 6 REBAR WITH 3-1/4"
ALUMINUM CAP STAMPED "PLS 38064" IN
MONUMENT BOX



FOR REVIEW



FOR AND ON BEHALF OF
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CONSULTANTS, INC.

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www.aztecconsultants.com

AzTec Proj. No.: 54820-02

Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 120'
SHEET 3 OF 9	

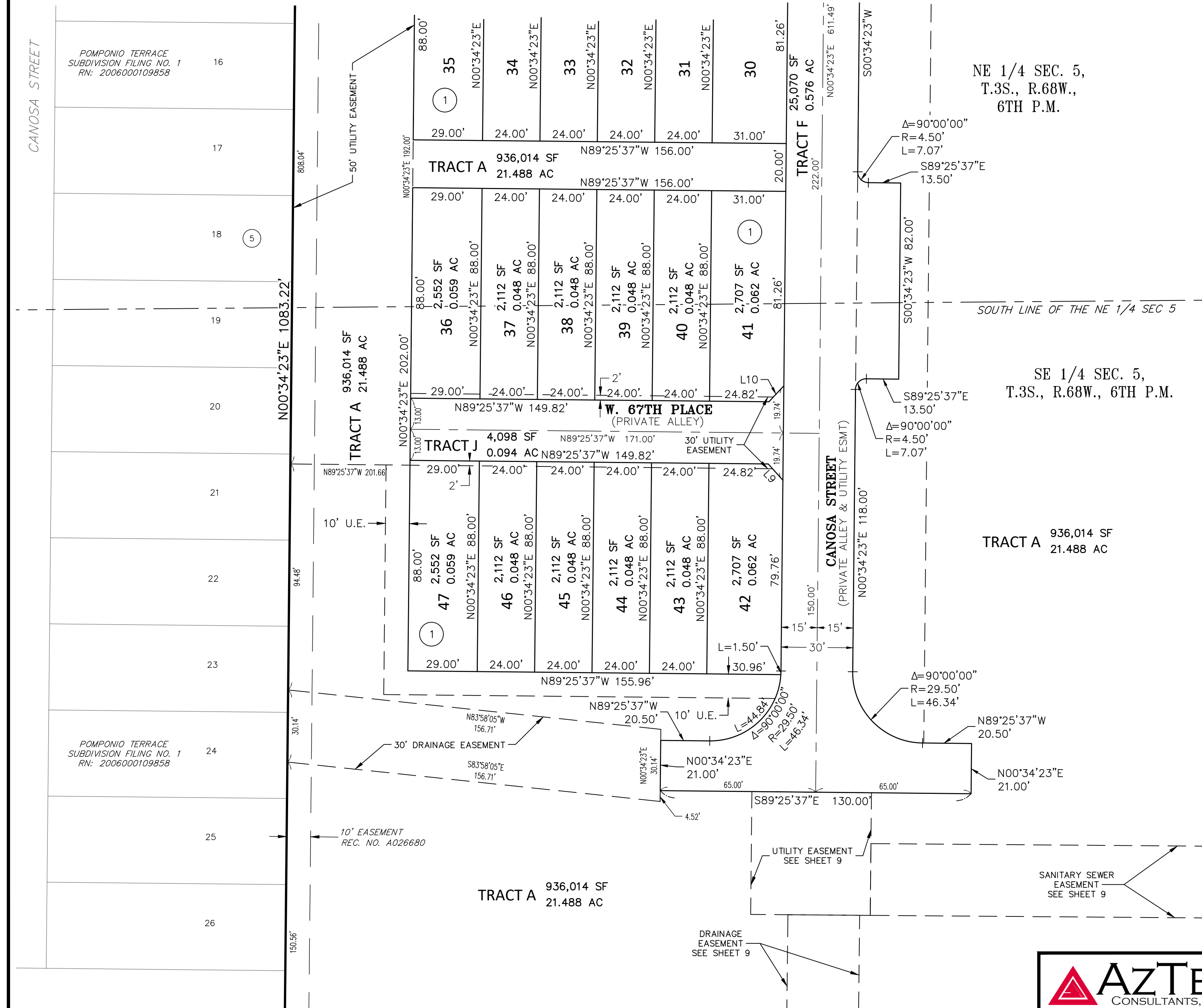
MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 9

SEE SHEET 5



NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

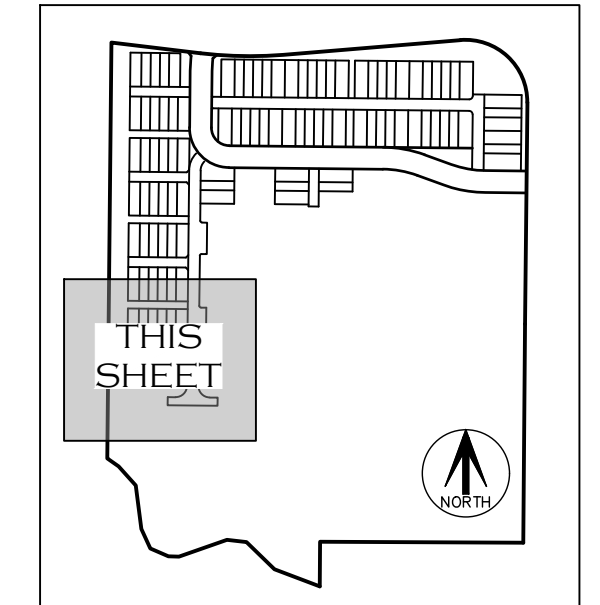
SE 1/4 SEC. 5,
T.3S., R.68W., 6TH P.M.

TRACT A 936,014 SF
21.488 AC

TRACT A 936,014 SF
21.488 AC

MONUMENT SYMBOL LEGEND

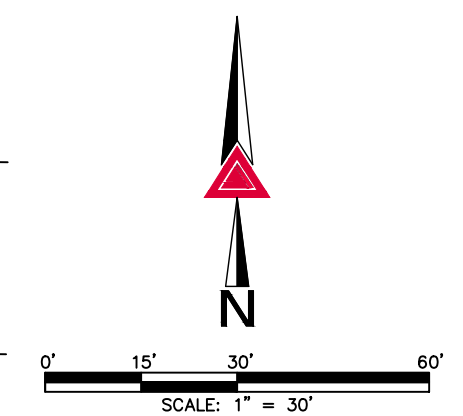
- RECOVERED NO. 3 REBAR
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- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED



SEE SHEET 3

SEE SHEET 9
FOR LINE &
CURVE TABLES

FOR REVIEW



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AzTec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 4 OF 9	

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

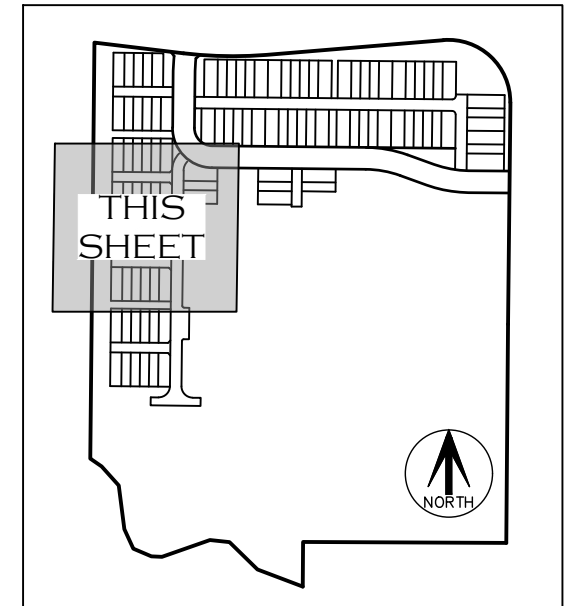
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5 OF 9

SEE SHEET 6



- MONUMENT SYMBOL LEGEND**
- 1 ● RECOVERED NO. 3 REBAR
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 - ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

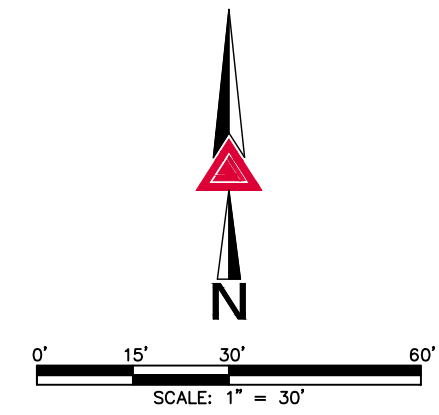


SEE SHEET 9
FOR LINE &
CURVE TABLES

SEE SHEET 3

SEE SHEET 4

FOR REVIEW



NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

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Aztec Proj. No.: 54820-02

Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 5 OF 9	

POMPONIO TERRACE
SUBDIVISION FILING NO. 1
RN: 2006000109858

POMPONIO TERRACE
SUBDIVISION FILING NO. 1
RN: 2006000109858

TRACT A
936,014 SF
21.488 AC

10'
EASEMENT
REC. NO.
A026680

N00°34'23"E 1083.22'

50' UTILITY EASEMENT

808.04'

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 9

NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

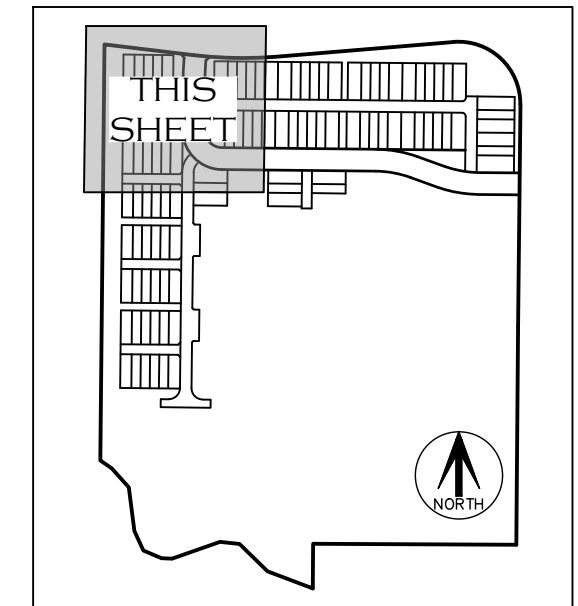
WEST 70TH AVENUE
(80' WIDE PUBLIC ROW)
BK 536 PG 315



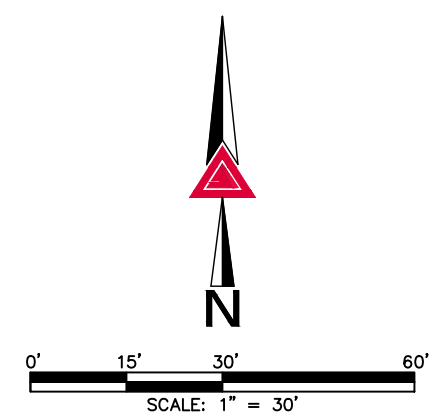
MONUMENT SYMBOL LEGEND

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- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

SEE SHEET 7



SEE SHEET 9
FOR LINE &
CURVE TABLES



FOR REVIEW

FOR AND ON BEHALF OF
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Drawn By: RBA

AzTec Proj. No.: 54820-02

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 6 OF 9	

SEE SHEET 5

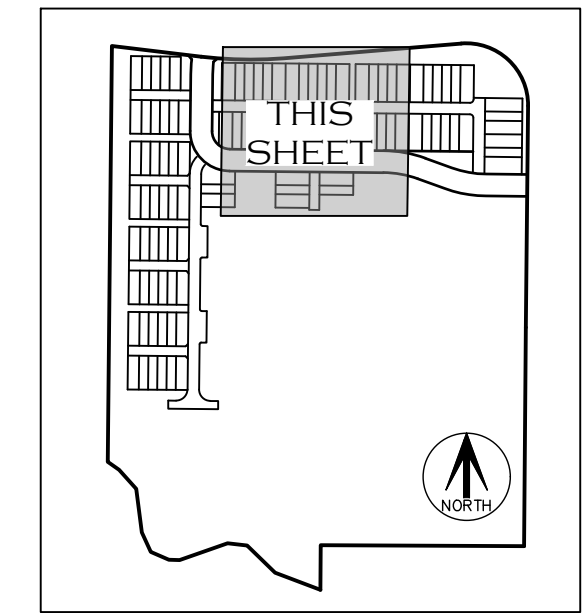
MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 9

MONUMENT SYMBOL LEGEND

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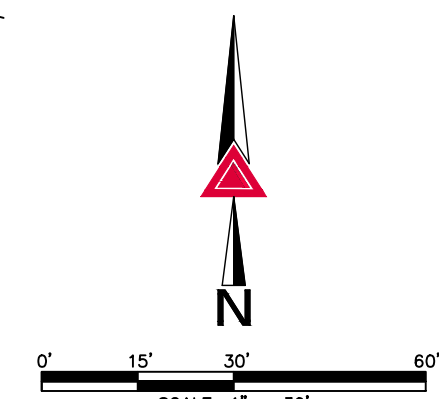


KEY MAP
SCALE = 1" = 1000'

SEE SHEET 9
FOR LINE &
CURVE TABLES

SEE SHEET 8

FOR REVIEW

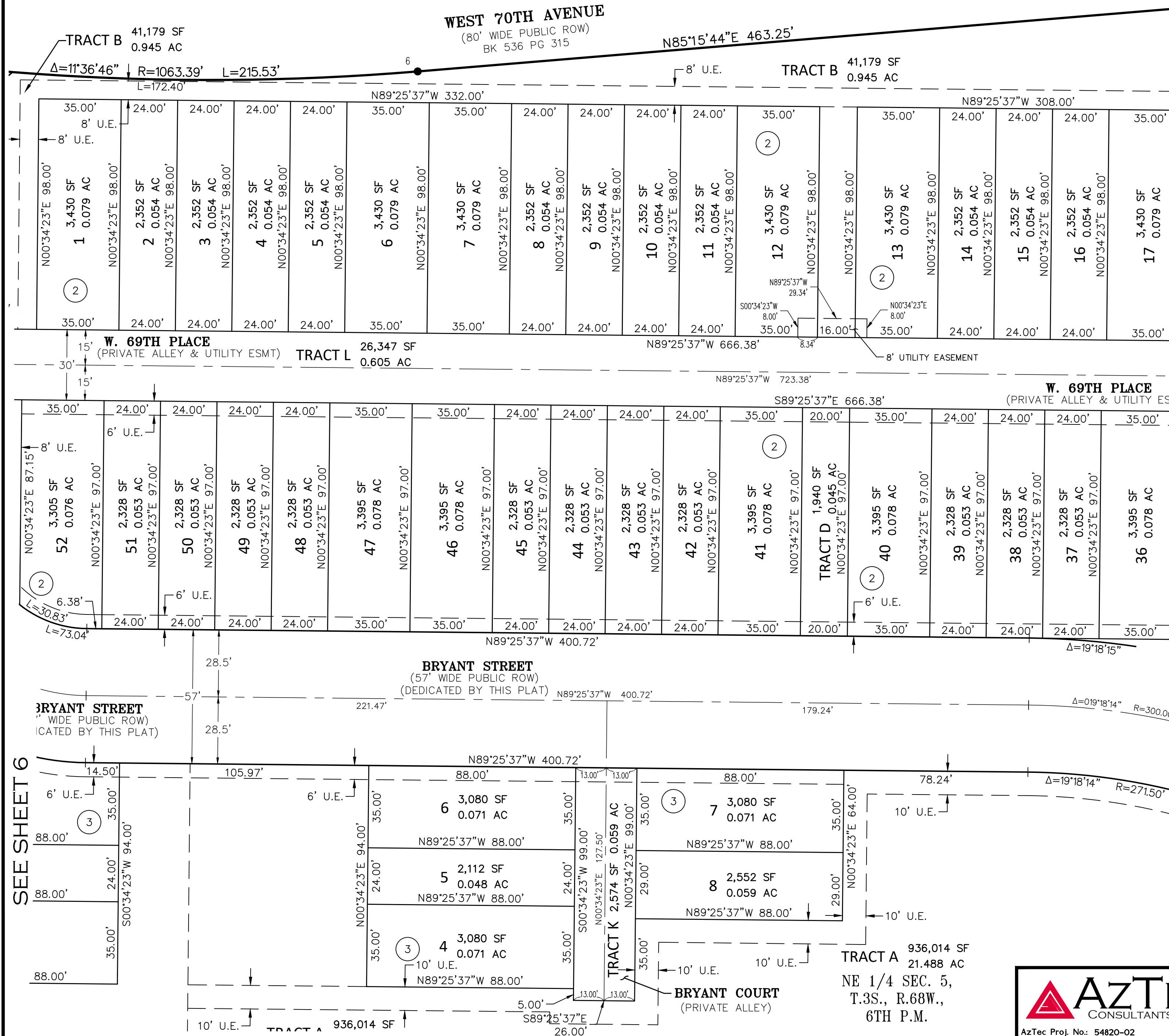


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Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 7 OF 9	



SEE SHEET 6

MIDTOWN AT CLEAR CREEK - FILING NO. 12

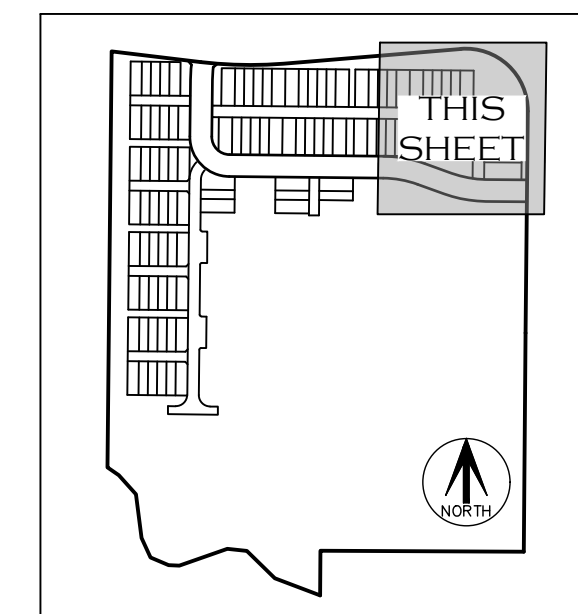
CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 8 OF 9

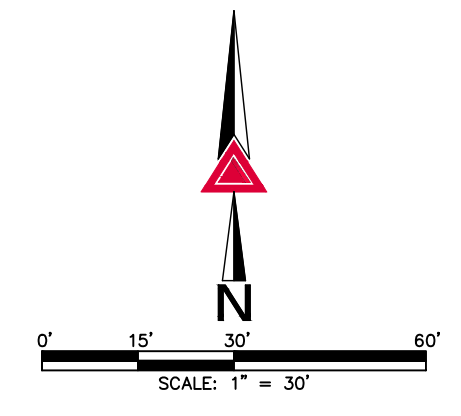
WEST 70TH AVENUE
(80' WIDE PUBLIC ROW)
BK 536 PG 315

MONUMENT SYMBOL LEGEND

- 1 ● RECOVERED NO. 3 REBAR
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- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

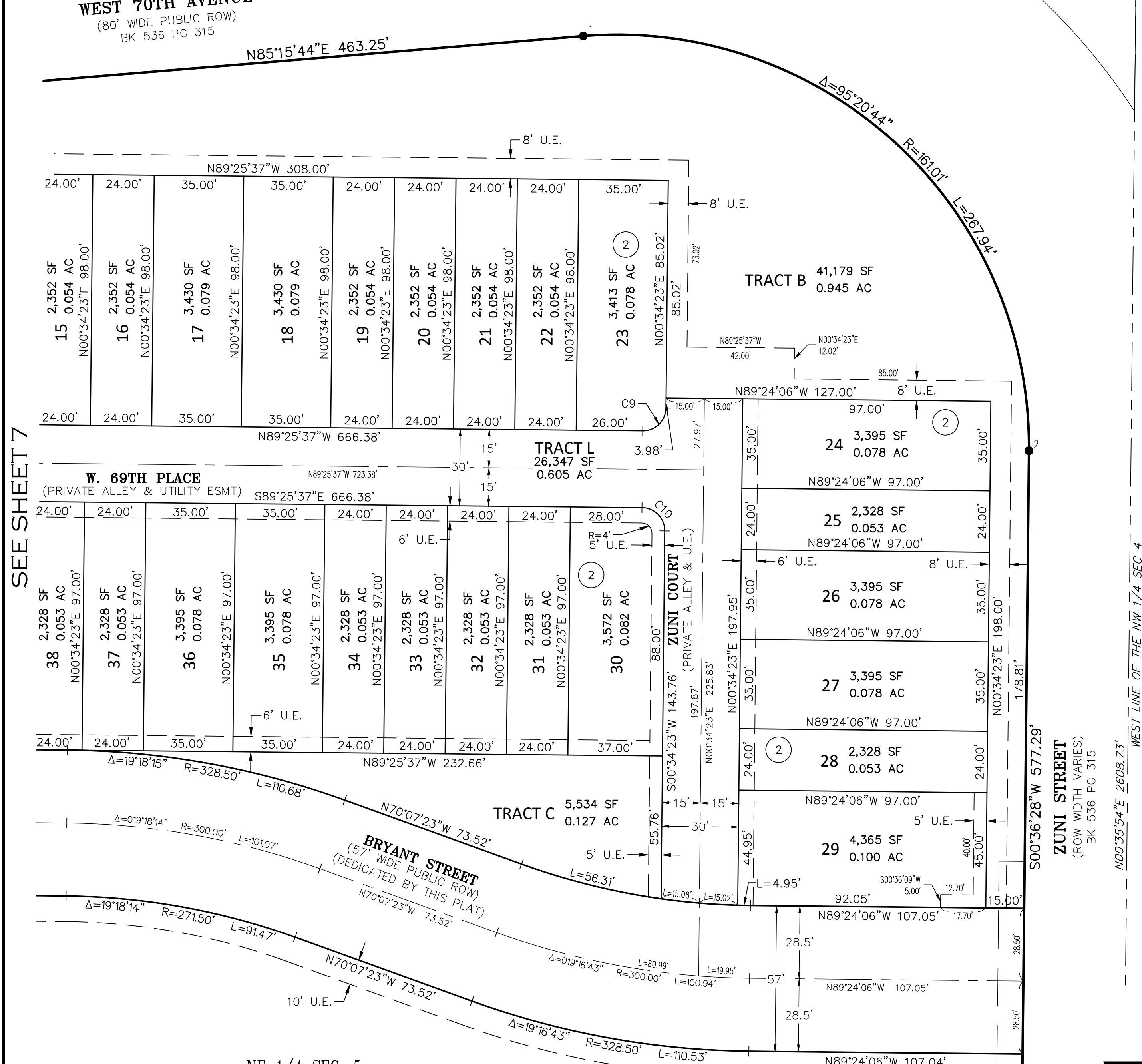


SEE SHEET 9
FOR LINE &
CURVE TABLES



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



SEE SHEET 7

NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

TRACT A
SEE SHEET 3

10' XCEL EASEMENT REC.
NO. 201800005760

AZTEC
CONSULTANTS, INC.

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Littleton, Colorado 80122
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Fax: (303) 713-1897
www.aztecconsultants.com

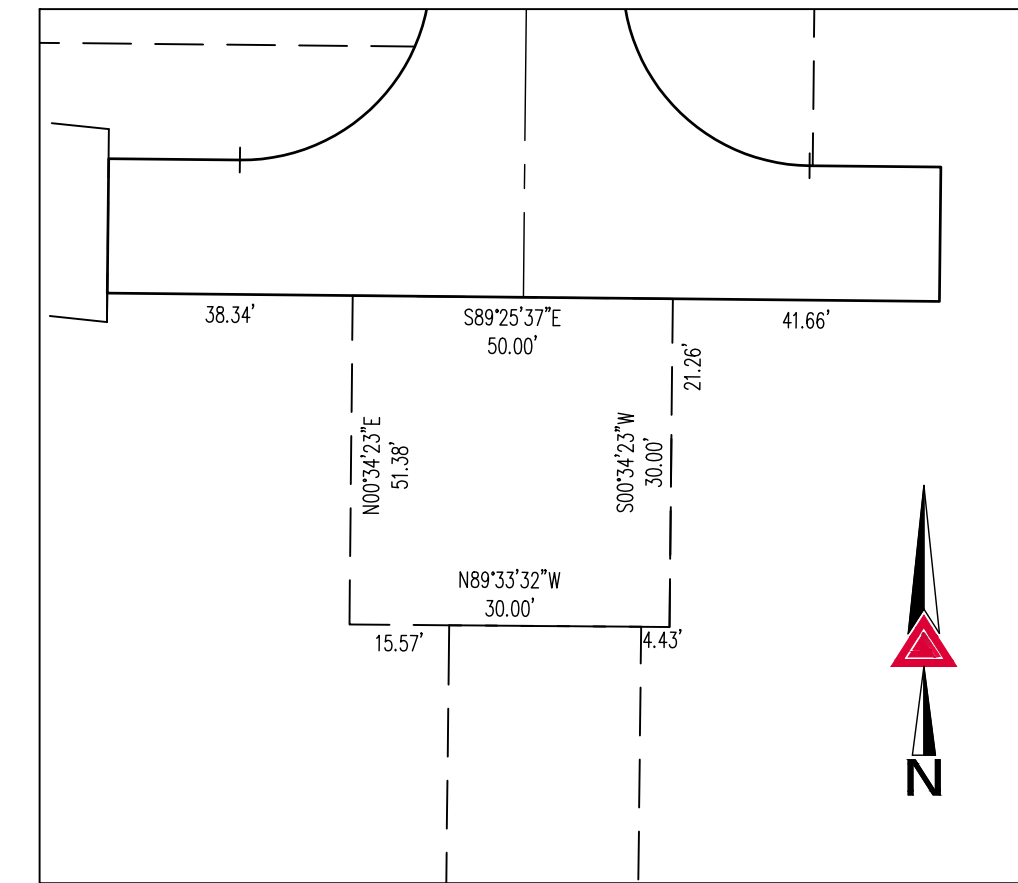
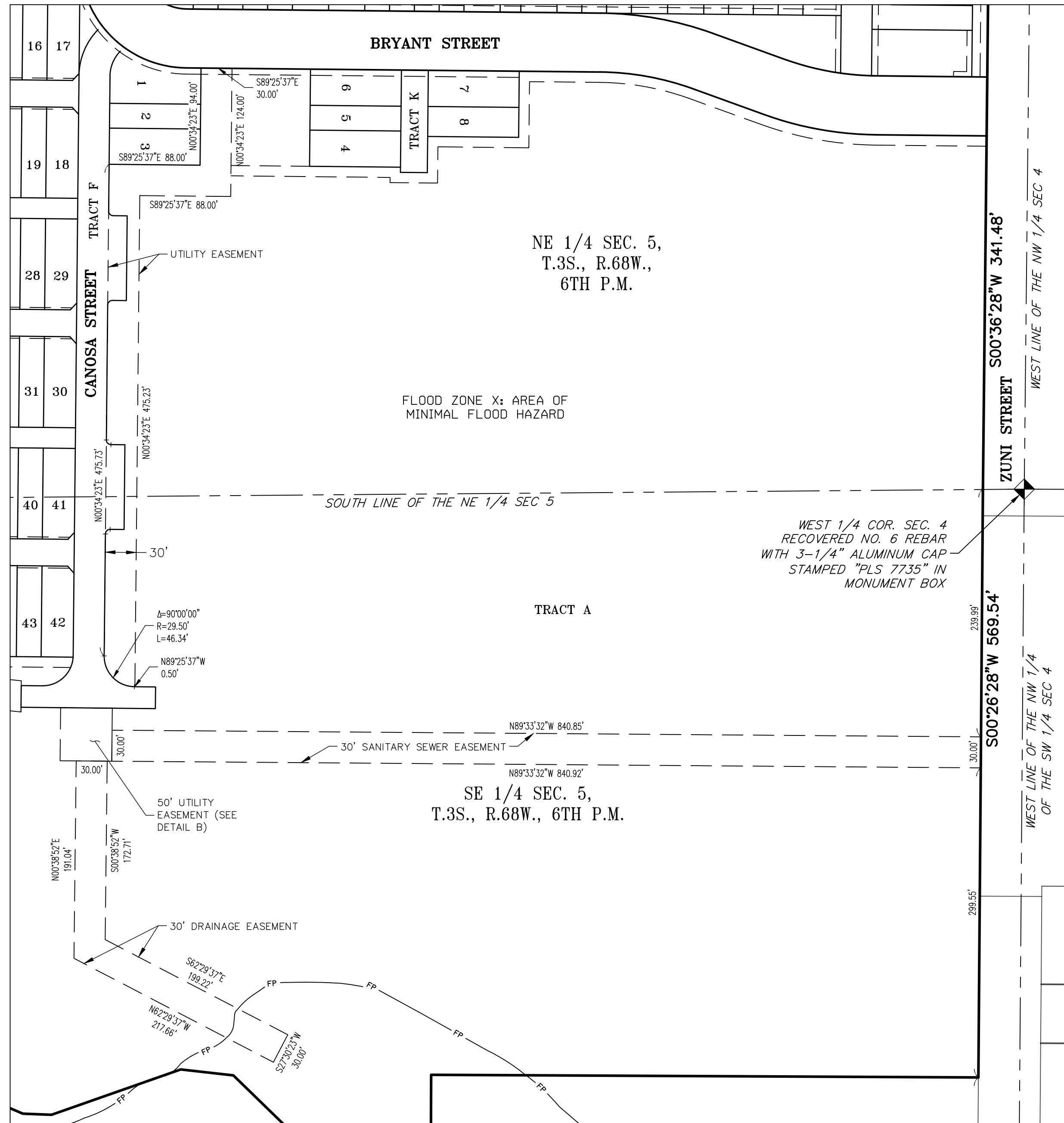
AzTec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 8 OF 9	

MIDTOWN AT CLEAR CREEK – FILING NO. 12

CASE NO. PRC
2020-0008

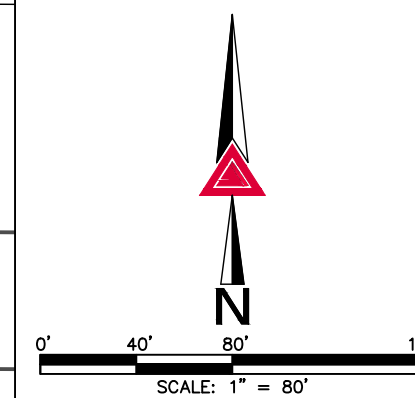
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 9 OF 9



DETAIL B
SCALE: 1" = 30'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N05°30'43"E	19.20'
L2	N44°25'38"E	32.61'
L3	S38°48'24"E	14.31'
L4	N05°30'43"E	9.87'
L5	N44°25'38"E	5.20'
L6	N44°25'38"E	5.20'
L7	S50°09'58"W	14.23'
L8	N05°30'43"E	9.03'
L9	N41°56'15"W	9.14'
L10	S43°05'00"W	9.14'
L11	N41°56'15"W	9.14'
L12	S43°05'00"W	9.14'
L13	N41°56'15"W	9.14'
L14	S43°05'00"W	9.14'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	4°56'21"	300.00'	25.86'
C2	43°51'15"	50.00'	38.27'
C3	4°56'21"	328.50'	28.32'
C4	43°51'15"	65.00'	49.75'
C5	43°51'15"	35.00'	26.79'
C6	4°56'21"	271.50'	23.40'
C7	18°44'58"	14.00'	4.58'
C8	18°44'58"	14.00'	4.58'
C9	90°00'00"	9.00'	14.14'
C10	90°00'00"	9.00'	14.14'



DETAIL A
SCALE: 1" = 80'

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

AZTEC
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 80'
SHEET 9 OF 9	

**SUBDIVISION IMPROVEMENTS AGREEMENT
FOR MIDTOWN AT CLEAR CREEK FILING 12**

THIS AGREEMENT is made and entered into this ____ day of _____, 20 ____, between ~~the~~ Midtown LLC, a Colorado limited liability company ("Developer"), having an address of 6465 S. Greenwood Plaza Blvd. #700, Centennial, Colorado 80111, ~~hereinafter called "Developer,"~~ and the Board of County Commissioners of the County of Adams, State of Colorado ("County"), whose address is 4430 S. Adams County Parkway, Brighton, CO 80601.

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

- 1. Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof (the "Improvements").
- 2. Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all ~~improvements described and detailed on Exhibit "B"~~ Improvements for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
- 3. Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the ~~improvements described and detailed on Exhibit "B"~~ Improvements.
- 4. Time for Completion.** Improvements shall be completed according to the terms of this agreement within the "construction completion date" appearing on Exhibit "B" ("Completion Date"). The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of ~~improvements appearing on said Exhibit "B"~~ Improvements for a period not to exceed 180 days. Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in writing.
- 5. Warranties of Developer.** Developer warrants that the Improvements shall be installed in a good workmanlike manner and in substantial compliance with the plans and requirements of this Agreement and shall be substantially free of defects in materials and workmanship. These warranties of Developer shall remain in effect until "Preliminary Acceptance" of the ~~improvements~~ Improvements by the County in accordance with section 5-02-05-01 of the Adams County Development Standards and Regulations ("County Regulations").
- 6. Guarantee of Compliance.** Developer shall furnish to the County, as collateral to guarantee compliance with this Agreement ("Collateral"), a bond in form acceptable to the County and releasable only by the County. The Collateral shall be in the amount of \$1,747,197.50, equal to the cost of the Improvements, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat and the County's Preliminary Acceptance by the Director of Public Works in accordance with Section 5-02-05-01 of the County Regulations, the Collateral shall be released, provided that completion of said Improvements shall be determined solely by the County, and a reasonable part of said collateral, up to twenty percent (20%), may be retained to guarantee maintenance of the Improvements for a period of one year from the date of Preliminary Acceptance.

No construction or building permits shall be issued until (i) the Collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners; and (ii) the final plat has been approved. No building permits for vertical construction (residential dwelling units) shall be issued until the Adams County Fire Protection District (“ACFPD”) has given written approval of the constructed and installed emergency access improvements deemed reasonably necessary by the ACFPD to serve the applicable portion of the property described in Exhibit “A” for which such building permits are requested. No certificates of occupancy shall be issued until the ~~improvements described in Exhibit “B”~~ Improvements have been granted Preliminary Acceptance by the Department of Public Works.

7. **Acceptance and Maintenance of Public Improvements.** All Improvements designated “public” on Exhibit “B” shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within 10 days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer’s expense. In the case of an emergency such written notice may be waived.
8. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit “A” attached hereto.
9. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property as follows:

A. **Improvements.**

Public Improvements:

Bryant Street and County of Adams storm sewer within Bryant Street right-of-way. See Exhibit “B” for description, estimated quantities and estimated construction costs.

Private Improvements:

Any other ~~improvements~~ Improvements set forth on Exhibit “B” not indicated as “public improvements” above.

The ~~improvements~~ Improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit “B”, subject to extension in accordance with Section 4.²²

- B. **Public dedication of land for right-of-way purposes or other public purpose.** The Developer shall dedicate to the County the real property shown as “Bryant St” on the final plat for the development known as Midtown at Clear Creek Filing No. 12. No other land is required to be conveyed in fee to the County for right-of-way or other purposes in connection with the approval by Board of County Commissioners of this agreement and/or the final plat for the development known as Midtown at Clear Creek Filing No. 12.

10. **Default by Developer.** A default by the Developer shall exist if (a) Developer fails to construct the Improvements in substantial compliance with the plans and the other requirements of this Agreement; (b) Developer fails to complete construction of the Improvements by the Completion Date provided herein as the same may be extended; or (c) subject to Section 7, Developer fails to cure any noncompliance specified in any written notice of noncompliance within a reasonable time after receipt of the notice of noncompliance.

- A. **Remedies of County.** If the County, after notice, determines that a default by Developer exists, and if Developer fails to cure such default within the time reasonably specified by

the County, the County shall be entitled to (a) make a draw on the Collateral for the amount reasonably determined by the County to be necessary to cure the default in a manner consistent with the approved plans for the Improvements up to the face amount of the Collateral; and (b) sue the Developer for recovery of any amount necessary to cure the default over and above the amount available in the Collateral provided.

- B. County Right to Completion of Subdivision Improvements.** The County shall have the right to complete the Improvements, in substantial accordance with the approved plans therefor, the estimated costs, and other requirements of this Agreement, either itself or by contract with a third party or by assignment of its rights to a successor developer who has acquired the Property by purchase, foreclosure, or otherwise. The County, any contractor under the County, or any such successor developer, their agents, subcontractors and employees shall have the non-exclusive right to enter upon the streets and easements shown on the final plat of the Subdivision and upon any part of the Subdivision owned by Developer for the purpose of completing the Improvements.
- C. Use of Funds by County.** Any funds obtained by the County through Collateral, or recovered by the County from Developer by suit or otherwise, shall be used by the County to pay the costs of completion of the Improvements substantially in accordance with the approved plans therefor and the other requirements of this Agreement and to pay the reasonable costs and expenses of the County in connection with the default by Developer, including reasonable attorneys' fees.

[signature page follows]

Developer:

Midtown LLC, a Colorado limited liability
company

Name: _____
By: _____
Title: _____

STATE OF COLORADO)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____ as _____ of Midtown LLC, a Colorado limited liability company.

Witness my hand and official seal.

My commission expires: _____

Notary Public

APPROVED BY resolution at the meeting of _____,
20_____.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$1,747,197.50. No construction or building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

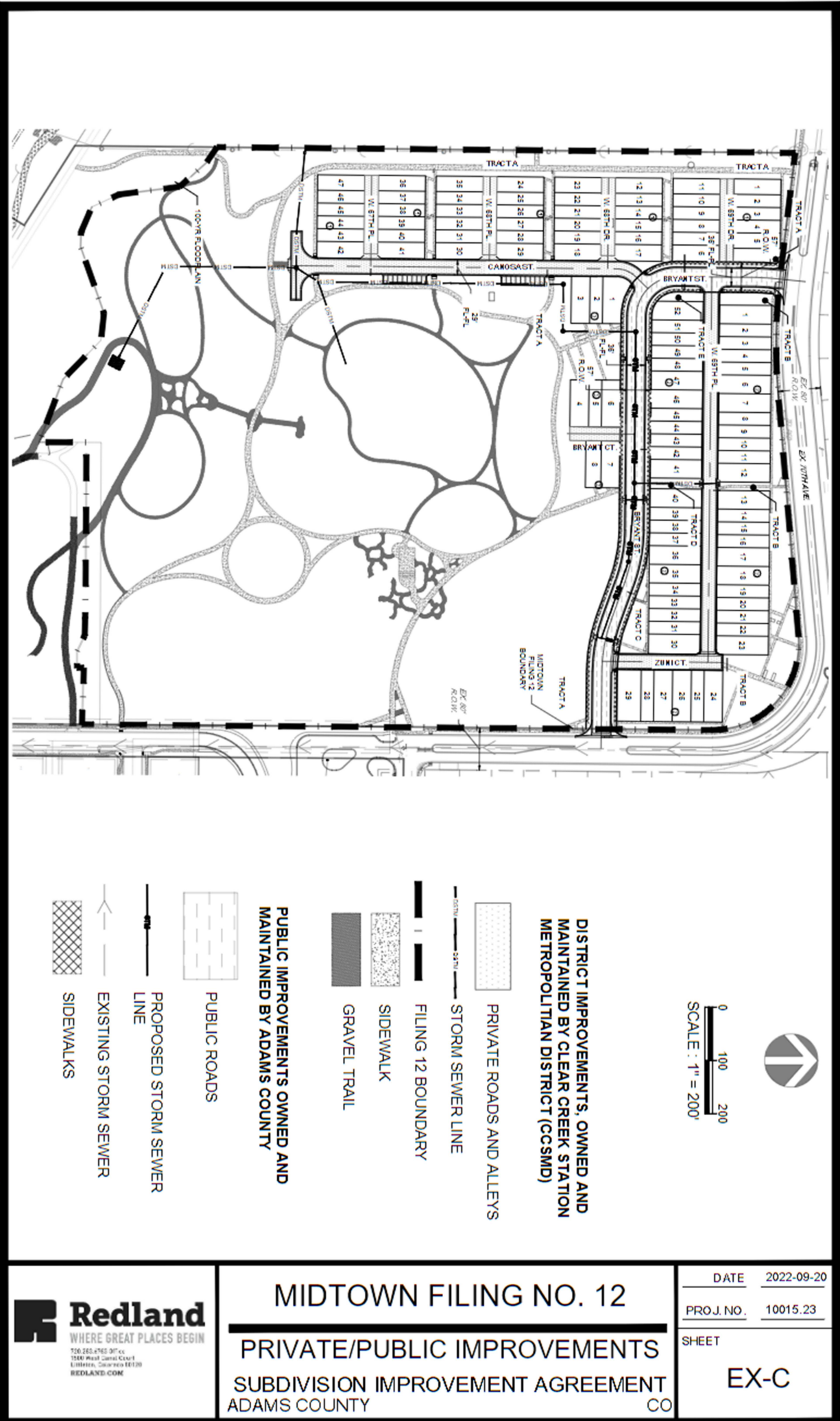
Approved as to form:

Adams County Attorney's Office

EXHIBIT "A"

Legal Description: MIDTOWN AT CLEAR CREEK FILING NO. 12

Lot 1, Block 4,
MIDTOWN AT CLEAR CREEK – FILING NO. 6,
County of Adams, State of Colorado.



10015.23 - MIDTOWN AT CLEAR CREEK FILING NO. 12 - PRIVATE IMPROVEMENTS - 22 - 09 - 20 - 10015.23 - 11:24:00 - 053

Document comparison by Workshare 10.0 on Monday, November 21, 2022
2:27:58 PM

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Document 2 ID	PowerDocs://DENVER01/2390020/6
Description	DENVER01-#2390020-v6-Midtown_SIA_-_Filing_12
Rendering set	Standard

Legend:	
<u>Insertion</u>	
Deletion	
Moved from	
<u>Moved to</u>	
Style change	
Format change	
Moved deletion	
Inserted cell	
Deleted cell	
Moved cell	
Split/Merged cell	
Padding cell	

Statistics:	
	Count
Insertions	19
Deletions	16
Moved from	0
Moved to	0
Style changes	0
Format changes	0
Total changes	35

Endorsement
Attached to Policy Number OX70615836.1.1891838
Our Order Number 70615836.1
issued by Old Republic National Title Insurance Company

The effective Date of Policy is hereby changed from 02/05/2020 AT 5:00 P.M. to 11/16/2022 AT 5:00 P.M. AS TO PARCEL A ONLY.

The Company hereby insures:

1. That, except as otherwise expressly provided herein, there are no liens, encumbrances or other matters shown by the Public Records, affecting said estate or interest, other than those shown in said policy, except: MODIFICATION TO ENVIROMENTAL COVENANT RECORDED APRIL 5, 2022 UNDER RECEPTION NO. [2022000029974](#). (AFFECTS PARCEL A ONLY)
2. That, as shown by the Public Records, the Title to said estate or interest is vested in the vestees shown in Schedule A.
MIDTOWN FACILITY LLC, A COLORADO LIMITED LIABILITY COMPANY

Dated: NOVEMBER 16, 2022

This endorsement is issued as part of the Policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the Policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the Policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the Policy and of any prior endorsements.

Old Republic National Title Insurance Company

By: LAND TITLE GUARANTEE COMPANY

By: 

Craig B. Rants, Senior Vice President

November 23, 2022

Adams County – Community & Economic Development Department
Attn: Layla Bajelan
4430 S Adams County Pkwy
Brighton, CO 80601

Re: **Midtown, Filing No. 12 – 3rd Review Comments**
Project Number: PRC2020-00008

Dear Ms. Bajelan,

Thank you for taking the time to review the Midtown Filing No. 12 Final Development Plan and Final Plat, along with County staff. Valuable feedback was received on November 14th, 2022. Detailed responses to comments have been noted on the following pages. Should you have any questions or concerns, please feel free to reach out via phone, 303-892-1166 or by email, emather@norris-design.com.

Sincerely,
Norris Design



Eva Mather
Principal

Development Review Team Comments –3rd Review

Commenting Division: Planning and Development

Name of Reviewer: Layla Bajelan, Senior Long Range Planner

Email: lbajelan@adcogov.org / 720-523-6863

PLN01: Final Development Plan should include all of the information for the development that was outlined in the Preliminary Development Plan. It appears the following information was included in the Preliminary Development Plan, but is not included in this Final Development Plan. Please ensure all other information is included.

- Information on Accessory Structures
- Language on Accessory Dwelling Units was included in the PDP, is this applicable to this FDP? If not, specify.
- Information on fencing types and locations allowed (must set parameters)
- Minimum lot widths and lot size should be outlined in the FDP (without this information, the plat cannot be adequately reviewed, and additional comments may be provided on future reviews) The FDP only sets a range for minimum square footage for the townhomes.

Response: Additional information regarding lot widths and lot sizes are detailed on Sheet 22 and fencing parameters have been provided on Sheet 31.

PLN02: Applicant needs to remove all the references to the 2nd and 3rd Amendment. This is not needed within the FDP and the FDP should reflect the most recently approved version. Someone reviewing the FDP should not have to reference the PDP for any requirements.

Response: All references to the 2nd and 3rd amendments to the PDP have been removed.

PLN03: All references and notes to parking on Zuni Street need to be removed from the FDP. This street is outside of the development and on-street parking is not guaranteed and therefore, should not be included in the parking counts.

Response: References and notes to parking on Zuni Street have been removed.

PLN04: Staff has concerns over the parking provided within this filing. There appears to only be 20 offstreet parking spaces provided for the visitors of these units and the visitors of the park.

Response: Parking meets the requirements for the PDP, exceeding 2.5 spaces per unit in this filing and for the community overall. Filing 12 provides 2.95 spaces per unit and Midtown provides 3.87 spaces overall. Parking surrounds the park via on-street and off-street parking spaces on the north, east and west and multi-modal trail access on the south. The park is a Midtown Metro District amenity and the amount of parking provided is sufficient for Midtown residents, visitors and park users.

PLN05: Please include more information on the active open space provided within. There should be a narrative on what makes the open space active.

Response: Additional information has been provided on Sheet 18 describing the areas that are being proposed as active open space, as well as on the narrative of Sheet 2.

PLN06: Sheet 2, A- This section was added in this review and is confusing. I believe it may be missing some detail? "Together with all 11.5 acres of park and open space in Filing 11, , this open space and park will be 32.5 acres."

Response: This section has been reworded to explain that Filing 12 with Filing 6 equals 32.5 acres of open space overall.

PLN07: Sheet 2, E- This section notes that the parking summary is located on sheet 28 and that is incorrect. Please review all section references in the FDP to ensure they are correct with the revised document.

Response: A detailed parking exhibit has been included on Sheet 32.

PLN08: Sheet 2, H This section noted that monument details are on sheet 27, which is incorrect. Please ensure that parameters for the signage that includes maximum height and width and materials is included in the narrative or sheet 30.

Response: Sheet 30 has been updated to provide signage parameters.

PLN09: Sheet 2, M- Why would the director be approving overall architectural intent.

Response: This sentence has been removed.

PLN10: Sheet 3, on street parking should not count towards the totals. Public Works has not agreed to on street parking on Zuni. Please provide documentation stating such or remove from totals. Staff has concerns over the amount of parking provided for visitors and the park guests.

Response: Parking on Zuni Street is no longer being included in the parking totals. Parking surrounds the park via on-street and off-street parking spaces on the north, east and west and multi-modal trail access on the south. The park is a Midtown metro-district amenity and the amount of parking provided is sufficient for Midtown residents, visitors and park users.

PLN11: Sheet 3, Staff does not agree that sodded areas count towards active open space. The FDP has 100% for % of minimum required open space that is active. Please define how this is active.

Response: Per conversation with Layla Bajelan on November 18th, all sod is not being counted towards active open space. The Open Space Summary table on Sheet 3 states that Filing 12 active open space is meeting 100% of the active space required for this filing. Please also refer to Sheet 18 for a supporting exhibit.

PLN12: Sheet 3, the FDP does not do a great job of describing/illustrating the open space or active open space. Staff believes that a ball field/ playfield is now being proposed, but the image does a poor job of portraying such. Clear Creek Valley PDP is a great example of how the open space was defined in a way that adequately showed the minimums are being met and high-quality areas are being proposed.

Response: The Park Overall Plan on Sheet 18 has been revised to clearly show open space areas versus active open space areas, also including narratives on reasons some parts are active open space or general open space.

PLN13: Sheet 9- Please remove this language from the note or provide documentation stating is approved by Public Works. "IT IS ASSUMED PARKING WILL BE PERMITTED ON THE SOUTH AND WEST SIDES OF 70TH AVE AND ZUNI STREET."

Response: Note has been removed.

PLN14: Sheet 18- Improvements should be made to this sheet to better define the open space and active open space.

Response: The Park Overall Plan on Sheet 18 has been revised to clearly show open space areas versus active open space areas, also including narratives on reasons some parts are active open space or general open space.

PLN15: Sheet 19- Staff is confused what tree lawns are being proposed by the individual units. Isn't this all Tract A?

Response: Maintenance and responsibility table has been updated per conversation with Layla on November 18, 2022.

PLN16: Sheet 19, Note 7 is this supposed to reference MCCMD?

Response: This note is updated to reference MMD.

PLN17: Sheet 20 and 21- Lot typicals with setbacks were removed from sheet 22 and it would be helpful for building permit reviewers if they were added back to the FDP or if they were included on images on page 20 and 21.

Response: Setback and Height Restrictions Table and lot typicals have been included on Sheet 22.

PLN18: Sheet 22- Below the table it states “refer to the second amendment to the PDP for full list of notes”. They should be included on the FDP as well.

Response: Notes section has been updated.

PLN19: It has been an issue up with other PUDs that many FDPs do not set parameters for the shelters, play structures, etc. We need parameters on maximum height, setbacks, etc. within the FDP to adequately review permits.

Response: Setback and Height Restrictions Table and lot typicals have been included on Sheet 22 as well as updated restrictions on Sheet 2 of the narrative.

PLN20: Please specify where each elevation is to be located within the FDP.

Response: Our team is working to identify which elevation would be built on which site. This information will be updated with our next resubmittal.

PLN21: Sheet 2, M- Why would the director be approving overall architectural intent.

Response: This sentence has been removed.

PLN22: The final plat and the final development plan should be consistent with the ownership and maintenance. For example, the FDP states the MMD and the plat states the CCSMD. Why are there two different names?

Response: Final Plat and FDP have been updated to only reflect MMD moving forward.

PLN23: Due to conflict with the installation of the park and open space facilities, staff would require the park improvements to be within the SIA. The County needs reassurance that the amenities will be put into place.

Response: Brookfield is discussing terms of acceptance with the Metro District. It is understood that if an agreement is not finalized with the Metro District, additional conditions will need to be incorporated into the SIA.

PLN24: Staff will be sending the case out again for referral and public comment. Please do not resubmit on this case without having all of the comments addressed from that submittal. To avoid confusion, this review is staff only.

Response: We understand that this review was not sent out for referral, however per discussion with Layla Bajelan on 11/18/22, we discussed the ability to revise the FDP and Final Plat to address these comments and updating the referral case during the current referral period.

Commenting Division: Planning and Development

Name of Reviewer: Matt Emmens, Senior Civil Engineer

Email: MEmmens@adcogov.org / 720-523-6826

ENG1: Engineering Review application EGR2022-00027 has been received and is currently under review.

Comments will be provided separately for the engineering submittal. All engineering concerns must be resolved prior to scheduling final plat for public hearing.

- Response: Comments received, and responses have been provided with this submittal.
- County Response: The construction documents are still under review. Comments will be forwarded to the applicant when the review is complete. Please note, the engineering review (EGR Case) is a separate review case than the FDP case. Construction plans must be made through a separate submittal.

Response: Noted, thank you.

ENG2: Remove the following statement from the FDP: “a signalized intersection at West 67th Avenue moves motorists through the central West 67th Avenue corridor and away from the existing neighborhood and 68th Avenue”. Filing 12 has no connection to W 67th Ave.

- Response: Statement has been removed.
- County Response: Comment Closed.

ENG3: Remove reference to on-street parking on 70th Avenue and Zuni Street from the FDP. These are public streets not within the subdivision or FDP limits. Remove presumed parking on 70th Ave and Zuni Street from parking count tables and all other sheets in the FDP.

- Response: On-street parking on 70th and Zuni have been removed from the plan.
- County Response: Zuni street Parking is still referenced on sheet 3.

Response: Zuni Street parking has been removed.

ENG4: The FDP must state that the metro district or private property owners are responsible for maintaining the curb, gutter, sidewalk and landscaping within the public right-of-way abutting their property. Also note that Adams County is not responsible for repairing or maintaining landscaping that is damaged as a result of roadway maintenance activities, including but not limited to de-icing chemicals and street repairs.

- Filing 6 FDP noted “Homeowner of land abutting constructed public right-of-way is responsible for maintenance of curb, gutter, and sidewalk along the right-of-way abutting their property including snow removal for pedestrian access.”
- Response: Text has been updated per redlines.
- County Response: Comment Closed.

- Third Amendment to the PDP noted “Private lot owners shall be responsible for the maintenance of their property as well as adjacent tree lawn area(s). Maintenance of the tree lawn between front property line and street shall be the primary responsibility of the homeowner in most circumstances under the requirements of the Metro District covenants. Adams County is not responsible for repairing or maintaining landscaping that is damaged as a result of roadway maintenance activities, including but not limited to de-icing chemicals and street repairs.”
- Response: Text has been updated per redlines.
- County Response: Comment Closed.

ENG5: Indicate maintenance and billing responsibilities for proposed streetlights in the Public ROW.

- Response: Maintenance and billing responsibilities will be provided by the Metro District, which will be consistent with other filings.
- County Response: Comment Closed.

ENG6: Why is the developer requesting a pre-plat SIA? Engineering plans and proposed quantities must be approved prior to the approval of any SIA. No building permits will be approved until the plat is approved at a minimum, and preliminary acceptance is granted. All redlines on the SIA draft must be addressed.

- Response: The pre-plat SIA has been eliminated. During the comment review meeting on 6/29/22 it was discussed that Brookfield could obtain an early grading permit.
- County Response: Comment Closed.

ENG7: Remove phasing from the SIA. Public improvements outlined in the agreement must be completed prior to preliminary acceptance. Only a single preliminary acceptance will be granted for the development.

- Response: The phasing has been removed from the SIA.
- County Response: Comment Closed.

ENG8: Engineering quantities are under review with the Engineering Review submittal. Cash-in-lieu was accepted for 70th Ave and Zuni St improvements adjacent to the proposed subdivision with the Midtown at Clear Creek Filing 6 SIA (Rec. No. 2018000006818).

- Response: Comment noted, thank you.
- County Response: the quantities are still under review as part of the EGR case.

Response: Noted, thank you.

ENG9: Easements specified in construction documents must also be depicted on the plat, including storm sewer easements.

- Response: All easements are now reflected on the plat.
- County Response: Comment Closed.

ENG10: All improvements that impact 70th Ave and Zuni Street right-of-way, such as drainage and access, will need to be coordinated with the Adams County CIP team.

- Response: We have met with CIP Team and will continue to coordinate with HCL as information is provided. Will continue to design to continued street section.
- County Response: Comment Closed.

Commenting Division: Public Works

Name of Reviewer: David Dittmer, Right-of-Way Agent

Email: DDittmer@adcogov.org / 720-523-6811

PLT COMMENTS

ROW1: A Title Commitment must be provided prior to subsequent reviews. This has previously requested and not found in the re-submittal packet.

Response: Updated Title Commitment has been provided as requested.

ROW2: No colored ink allowed on plats. Mylar does not reproduce well.

Response: Noted, plat will be printed without color. Thank you.

ROW3: Provide a copy of a recorded statement of authority for the signatory for Midtown Facility LLC. The signature block and notary affirmation must match this information.

Response: Statement of Authority is out for signatures and will be provided once completed and prior to final plat approval.

ROW4: Revise Ownership and Dedication Statement as provided. Refer to the application guidelines for approved statements and requirements

Response: Revised as requested.

ROW5: Type out all names as provided at signature blocks and notary

Response: Revised as requested. Notary names have been left blank, information on who is notarizing is not known at this time. Prior to printing mylars the plat will be updated to include the typed names of the notaries.

ROW6: The preliminary plat should have been approved by the Planning Commission, as such they won't sign the final plat.

Response: Revised as requested.

ROW7: Add county attorney approval block

Response: Revised as requested.

ROW8: Name Bryant St. in Tract Summary Table/land use

Response: Bryant Street name added to ROW dedication in Tract summary table as requested.

ROW9: Type out signatory information for the metro district's acceptance

Response: Revised as requested.

ROW10: Title Storm Drainage Facilities Statement

Response: Revised as requested.

ROW11: Update note for title commitment

Response: Revised as requested. A new title endorsement has been provided for this submittal. Upon staff approval and prior to recordation a new title will be supplied.

ROW12: State on sheets my survey m/b information for Bryant Street and state X' Public ROW Dedicated by this plat

Response: Revised as requested.

ROW13: Provide street name (Bryant) on sheet 5

Response: Revised as requested.

ROW14: Any storm drainage facility constructed must be dedicated to the county and maintained by the metro district. Verify these location have access from a private drive or public ROW for Adams County inspections. Engineering review will need to verify this as well.

Response: The Site proposes to utilize the facility built with Midtown Filing 6. The facility was designed anticipating the future development of Filing 12 therefore no new storm drainage facilities will be required. The existing facility is within Tract F of Midtown Filing 6 and currently has access and easements for Adams County inspections.

FDP COMMENTS:

ROW1: The ownership as provided on the Final Plat does not match the ownership as provided on FDP. They must match.

Response: FDP has been updated to match the Final Plat.

ROW2: Format the signature and notary as provided on final plat and state requirements

Response: Signature and notary blocks are updated to match Final Plat and state requirements.

ROW3: The signature and approval blocks order of appearance.

- a. Owner
- b. Planning Commission
- c. Board of County Commissioners
- d. County Attorney
- e. Clerk and Recorder

Response: Signature blocks have been added and order has been updated.

ROW4: The final plat and the FDP do not state the same metro district. Once is CCSMD and this has MMD. They must be consistent

Response: Metro District has been updated to be consistent on both documents, reading MMD.

ROW5: NO parking on Zuni will be allowed. Remove the statement and number of spaces on Sheet 3 of 30

Response: Zuni Parking has been removed.

Commenting Division: Building Safety Division, Plans Examiner

Name of Reviewer: Heather Whiat

Email: JBlair@adcogov.org / 720-523-6843

BSD1- Building permits would be required for each structure. Engineered plans will be required to obtain permits.

Response: Noted, thank you.

BSD2- Applicant should refer to residential submittal requirements. Here is a link for your reference

<https://epermits.adcogov.org/submittal-checklists>

Response: Noted, thank you.

BSD3- Current adopted codes are the 2018 International Building Codes and the 2017 National Electrical Code.

Response: Noted, thank you.

BSD4- Applicant should contact Fire Department for their requirements. This is a separate permit, review, and inspection with your local fire department.

Response: Noted, thank you.

BSD5- Applicant will need to comply with State of Colorado requirements of Title 9 Article 5. An implementation plan will be required to show compliance.

Response: Noted, thank you.

End of Response to Comments



LAND TITLE GUARANTEE COMPANY

Date: March 03, 2022

Subject: Attached Title Policy MIDTOWN FACILITY LLC, A COLORADO LIMITED LIABILITY COMPANY for 6701 ZUNI STREET, DENVER, CO 80221

Enclosed please find the Owner's Title Insurance Policy for your purchase of the property listed above.

This title policy is the final step in your real estate transaction, and we want to take a moment to remind you of its importance. Please review all information in this document carefully and be sure to safeguard this policy along with your other legal documents.

Your owner's policy insures you as long as you own the property and requires no additional premium payments.

Please feel free to contact any member of our staff if you have questions or concerns regarding your policy, or you may contact Land Title Policy Team at (303) 850-4158 or finals@ltgc.com

As a Colorado-owned and operated title company for over 50 years, with offices throughout the state, we take pride in serving our customers one transaction at a time. We sincerely appreciate your business and welcome the opportunity to assist you with any future real estate needs. Not only will Land Title be able to provide you with the title services quickly and professionally, but you may also be entitled to a discount on title premiums if you sell or refinance the property described in the enclosed policy.

Thank you for giving us the opportunity to work with you on this transaction. We look forward to serving you again in the future.

Sincerely,

Land Title Guarantee Company



OWNER'S POLICY OF TITLE INSURANCE

ANY NOTICE OF CLAIM AND ANY OTHER NOTICE OR STATEMENT IN WRITING REQUIRED TO BE GIVEN TO THE COMPANY UNDER THIS POLICY MUST BE GIVEN TO THE COMPANY AT THE ADDRESS SHOWN IN SECTION 18 OF THE CONDITIONS.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, a Minnesota corporation, (the "Company"), insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the title; This covered Risk includes but is not limited to insurance against loss from
 - a. A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - b. The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - c. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A. The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

Issued by:
 Land Title Guarantee Company
 3033 East First Avenue Suite 600
 Denver, Colorado 80206
 303-321-1880

Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 A Stock Company
 400 Second Avenue South, Minneapolis, Minnesota 55401
 (612) 371-1111

By President
 Attest Secretary

**AMERICAN
 LAND TITLE
 ASSOCIATION**



EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (1)(a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- (2) Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- (3) Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- (4) Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
- (5) Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b) or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured.
 - (2) if the grantee wholly owns the named Insured.
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes
 - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenue, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A. "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be

liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligation to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance. To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay. Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in the subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

(i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay. Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

(i) the Amount of Insurance; or

(ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

- (i) the Amount of Insurance shall be increased by 10%, and
- (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons, Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim or loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.

(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

(a) Choice of Law; The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum; Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: 400 Second Avenue South, Minneapolis, Minnesota 55401 (612)371-1111.

ANTI-FRAUD STATEMENT: Pursuant to CRS 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed to and made a part of this policy.

Old Republic National Title Insurance Company
Schedule A

Order Number: F70615836.1

Policy No.: OX70615836.1.1891838

Amount of Insurance: \$200,000.00

Property Address:

6701 ZUNI STREET, DENVER, CO 80221

1. Policy Date:

February 05, 2020 at 5:00 P.M.

2. Name of Insured:

MIDTOWN FACILITY LLC, A COLORADO LIMITED LIABILITY COMPANY

3. The estate or interest in the Land described in this Schedule and which is covered by this policy is:

A Fee Simple

4. Title to the estate or interest covered by this policy at the date is vested in:

MIDTOWN FACILITY LLC, A COLORADO LIMITED LIABILITY COMPANY

5. The Land referred to in this Policy is described as follows:

PARCEL A:

LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK- FILING NO. 6, COUNTY OF ADAMS, STATE OF COLORADO.

PARCEL B:

TRACTS F AND G, MIDTOWN AT CLEAR CREEK-FILING NO. 6, COUNTY OF ADAMS, STATE OF COLORADO

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**AMERICAN
LAND TITLE
ASSOCIATION**



Old Republic National Title Insurance Company

(Schedule B)

Order Number: F70615836.1

Policy No.: OX70615836.1.1891838

This policy does not insure against loss or damage by reason of the following:

1. **Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
2. **Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
3. **Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
4. **Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
5. **(a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
6. ANY AND ALL TAXES AND ASSESSMENTS.
7. TERMS, RESERVATIONS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH IN DEED RECORDED JANUARY 28, 1881 IN BOOK A1 AT PAGE [350](#).
8. RIGHTS, EASEMENTS AND INTERESTS, INCLUDING THE OWNERSHIP OF ALL MINERALS AND MINERAL RIGHTS, IN ANY PORTION OF SAID LAND LYING WITHIN THE LINES OF THE RIGHT OF WAY OF THE DENVER PACIFIC RAILWAY COMPANY, FORMERLY THE UNION PACIFIC RAILWAY COMPANY EASTERN DIVISION, AS GRANTED TO SAID RAILWAY COMPANY BY THE UNITED STATES OF AMERICA IN PATENT RECORDED DECEMBER 9, 1881 IN BOOK A7 AT PAGE [274](#), OFFICIAL RECORDS, WHICH PATENT WAS AUTHORIZED UNDER THE CONGRESSIONAL GRANT RIGHT OF WAY ACT OF JULY 1, 1862 (12 STAT. 489 AS AMENDED) INCLUDING THE RIGHTS OF ANYONE CLAIMING BY, THROUGH OR UNDER THE UNITED STATES OF AMERICA.
9. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN EASEMENT DEED RECORDED OCTOBER 10, 1930 IN BOOK 191 AT PAGE [74](#). PARTIAL RELEASE OF EASEMENT RECORDED JUNE 29, 2018 UNDER RECEPTION NO. [2018000052420](#).
10. TERMS, CONDITIONS AND PROVISIONS OF CONNECTORS AGREEMENT RECORDED DECEMBER 28, 1954 IN BOOK 528 AT PAGE [498](#)
11. TERMS, RESERVATIONS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH IN DEEDS RECORDED JANUARY 31, 1955 IN BOOK 534 AT PAGE [104](#) AND FEBRUARY 2, 1960 IN BOOK 827 AT PAGE [167](#).
12. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT AGREEMENT RECORDED JANUARY 31, 1955 IN BOOK 534 AT PAGE [107](#).
13. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN DEEDS RECORDED FEBRUARY 17, 1955 IN BOOK 536 AT PAGES [311](#) AND [315](#).
14. AN EASEMENT AS GRANTED TO BAKER METROPOLITAN WATER AND SANITATION DISTRICT IN INSTRUMENT RECORDED APRIL 21, 1955 IN BOOK 545 AT PAGE [550](#).
15. EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, FOR UTILITIES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED SEPTEMBER 07, 1955, IN BOOK 568 AT PAGE [15](#).
16. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE BAKER METROPOLITAN WATER AND SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED MARCH 08, 1972, IN BOOK 1784 AT PAGE [317](#).

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17. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF SUNDSTRAND SUBDIVISION RECORDED JANUARY 2, 1974 UNDER RECEPTION NO. [A026680](#).
18. RIGHTS OF OTHERS IN AND TO SUBJECT PROPERTY FOR ADJACENT RAILROAD, AS SHOWN ON THE PLAT RECORDED JANUARY 2, 1974 UNDER RECEPTION NO. [A026680](#).
19. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN SUBDIVISION AGREEMENT RECORDED JANUARY 02, 1974 IN BOOK 1907 AT PAGE [30](#).
20. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISION RECORDED JANUARY 23, 1987 IN BOOK 3264 AT PAGE [775](#).
21. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CRESTVIEW WATER AND SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED MAY 12, 1987, IN BOOK 3316 AT PAGE [46](#).
22. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH IN THE CRESTVIEW PRELIMINARY PUD PLAN RECORDED JUNE 26, 1987 UNDER RECEPTION NO. [B751021](#).
23. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE HYLAND HILLS PARK AND RECREATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED SEPTEMBER 15, 1987, IN BOOK 3367 AT PAGE [411](#).
24. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISION RECORDED SEPTEMBER 12, 1989 IN BOOK 3601 AT PAGE [317](#).
25. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE HYLAND HILLS PARK AND RECREATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED SEPTEMBER 19, 1990, IN BOOK 3712 AT PAGE [402](#).
26. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN PERMANENT TRAIL EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT AGREEMENT RECORDED OCTOBER 04, 1996 IN BOOK 4853 AT PAGE [110](#)
27. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT AGREEMENT RECORDED AUGUST 10, 2004 UNDER RECEPTION NO. [20040810000745680](#)
28. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISIONS RECORDED MARCH 28, 2007 UNDER RECEPTION NO. [2007000031694](#), MAY 9, 2007 UNDER RECEPTION NO. [2007000045835](#) AND MARCH 21, 2008 UNDER RECEPTION NO. [2008000022620](#).
29. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ENVIRONMENTAL COVENANT RECORDED AUGUST 10, 2007 UNDER RECEPTION NO. [2007000077016](#).
30. TERMS, RESERVATIONS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH IN SPECIAL WARRANTY DEED RECORDED AUGUST 20, 2007 UNDER RECEPTION NO. [2007000079792](#).
31. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN DISCHARGE EASEMENT RECORDED AUGUST 20, 2007 UNDER RECEPTION NO. [2007000079793](#).

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32. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN GROUNDWATER EASEMENT RECORDED AUGUST 20, 2007 UNDER RECEPTION NO. [2007000079794](#).
33. TERMS, RESERVATIONS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH IN SPECIAL WARRANTY DEED RECORDED AUGUST 21, 2007 UNDER RECEPTION NO. [2007000080310](#).
34. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN LIMITED ACCESS AGREEMENT AND EASEMENT RECORDED AUGUST 21, 2007 UNDER RECEPTION NOS. [2007000080311](#) AND [2007000080312](#).
35. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS RECORDED JANUARY 25, 2008 UNDER RECEPTION NO. [2008000006070](#) AND APPLICANT'S CERTIFICATION THERETO RECORDED JANUARY 25, 2008 UNDER RECEPTION NO. [2008000006071](#).
36. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS RECORDED JANUARY 25, 2008 UNDER RECEPTION NO. [2008000006073](#) AND APPLICANT'S CERTIFICATION THERETO RECORDED JANUARY 25, 2008 UNDER RECEPTION NO. [2008000006072](#).
37. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 2, AS EVIDENCED BY INSTRUMENT RECORDED OCTOBER 31, 2012 UNDER RECEPTION NO. [2012000082403](#). RESOLUTION RECORDED JANUARY 26, 2015 UNDER RECEPTION NO. [2015000005552](#). LETTER RECORDED DECEMBER 27, 2017 UNDER RECEPTION NO. [2017000113700](#). AMENDED AND RESTATED RECORDED OCTOBER 25, 2018 UNDER RECEPTION NO. [2018000086449](#). MAP RECORDED JANUARY 7, 2019 UNDER RECEPTION NO. [2019000001456](#).
38. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE DEVELOPMENT PLAN MAPS RECORDED AUGUST 16, 2012 UNDER RECEPTION NOS. [2012000060630](#) AND [2012000060631](#) AND APRIL 24, 2013 UNDER RECEPTION NO. [2013000034458](#).
39. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1, AS EVIDENCED BY INSTRUMENT RECORDED JULY 13, 2012, UNDER RECEPTION NO. [2012000050495](#).
40. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN MEMORANDUM REGARDING A CONSOLIDATED RESOLUTION OF THE BOARD OF DIRECTORS OF CLEAR CREEK STATION METROPOLITAN DISTRICT NOS. 1-3 CONCERNING THE IMPOSITION OF A DISTRICT DEVELOPMENT FEE, GENERAL OPERATIONS FEE, WORKING CAPITAL FEE AND ADMINISTRATIVE SETUP FEE RECORDED OCTOBER 22, 2012 UNDER RECEPTION NO. [2012000079298](#).

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41. EASEMENTS AND RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN DECLARATION OF EASEMENTS AND MASTER ARCHITECTURAL AND MAINTENANCE STANDARDS FOR MIDTOWN RECORDED JUNE 27, 2013, UNDER RECEPTION NO. [2013000055284](#) AND AFFIDAVIT OF CORRECTION RECORDED JULY 26, 2013 UNDER RECEPTION NO. [2013000064983](#). NOTICE RECORDED AUGUST 22, 2018 UNDER RECEPTION NO. [2018000068137](#), AMENDMENT RECORDED MAY 20, 2019 UNDER RECEPTION NO. [2019000037700](#).
42. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EASEMENT AGREEMENT RECORDED AUGUST 09, 2013 UNDER RECEPTION NO. [2013000069553](#).
43. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED SEPTEMBER 26, 2013 UNDER RECEPTION NO. [2013000083990](#).
RESOLUTION APPROVING SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED OCTOBER 15, 2013 UNDER RECEPTION NO. [2013000089288](#).
ADDENDUM TO SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED JANUARY 9, 2014 UNDER RECEPTION NO. [2014000001873](#).
SECOND AMENDMENT TO SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED MARCH 21, 2014 UNDER RECEPTION NO. [2014000017050](#).
RESOLUTION APPROVING THE SECOND AMENDMENT TO SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED MARCH 20, 2014 UNDER RECEPTION NO. [2014000016861](#).
44. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN ZONING HEARING DECISION RECORDED NOVEMBER 08, 2013 UNDER RECEPTION NO. [2013000096365](#).
45. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION FOR ZONING HEARING DECISION RECORDED DECEMBER 24, 2013 UNDER RECEPTION NO. [2013000106592](#).
46. MIDTOWN AT CLEAR CREEK FINAL DEVELOPMENT PLAN - FILING ONE AMENDMENT NO. 1 RECORDED APRIL 11, 2014 UNDER RECEPTION NO. [2014000022044](#); MIDTOWN AT CLEAR CREEK PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING 2 AMENDMENT NO. 1 RECORDED JULY 7, 2014 UNDER RECEPTION NO. [2014000043727](#); MIDTOWN AT CLEAR CREEK SECOND AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN RECORDED JULY 18, 2014 UNDER RECEPTION NO. [2014000046992](#); MIDTOWN AT CLEAR CREEK PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING 3 RECORDED JULY 18, 2014 UNDER RECEPTION NO. [2014000047017](#) AND MIDTOWN AT CLEAR CREEK PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING FIVE RECORDED DECEMBER 30, 2014 UNDER RECEPTION NO. [2014000091486](#). MIDTOWN AT CLEAR CREEK PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING TEN RECORDED JANUARY 12, 2018 UNDER RECEPTION NO. [201800004019](#).
RESOLUTION NO. 2014-312 RECORDED AUGUST 25, 2014 UNDER RECEPTION NO. [2014000057260](#).

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47. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION 2014-283 APPROVING THE SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED SEPTEMBER 25, 2014 UNDER RECEPTION NO. [2014000065554](#) AND IN RESOLUTION 2015-505 APPROVING AMENDED AND RESTATED SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED DECEMBER 11, 2015 UNDER RECEPTION NO. [2015000103729](#).
48. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF MIDTOWN AT CLEAR CREEK - FILING NO. 4 RECORDED NOVEMBER 3, 2014 UNDER RECEPTION NO. [2014000076746](#).
49. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CLEAR CREEK METROPOLITAN DISTRICT NO. 1, AS EVIDENCED BY INSTRUMENT RECORDED MARCH 25, 2015, UNDER RECEPTION NO. [2015000020887](#).
50. EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO, FOR UTILITY LINES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED MAY 17, 2017, UNDER RECEPTION NO. [2017000042556](#).
51. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION 2017-511 RECORDED NOVEMBER 16, 2017 UNDER RECEPTION NO. [2017000101388](#)
52. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN MIDTOWN AT CLEAR CREEK IN THE COUNTY OF ADAMS, COLORADO PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING FOUR RECORDED NOVEMBER 03, 2014 UNDER RECEPTION NO. [2014000076747](#).
53. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN MIDTOWN AT CLEAR CREEK PLANNED DEVELOPMENT FINAL DEVELOPMENT PLAN FILING SIX RECORDED JANUARY 18, 2018 UNDER RECEPTION NO. [2018000005759](#).
54. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF MIDTOWN AT CLEAR CREEK - FILING NO. 6 RECORDED JANUARY 18, 2018 UNDER RECEPTION NO. [2018000005760](#).
55. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION APPROVING APPLICATION IN CASE #PRC2016-00012 MIDTOWN FILING 6 FINAL DEVELOPMENT PLAN RECORDED JANUARY 23, 2018 UNDER RECEPTION NO. [2018000006817](#).
56. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION APPROVING SUBDIVISION IMPROVEMENTS AGREEMENT FOR MIDTOWN FILING 6 FINAL PLAT RESOLUTION 2018-035 RECORDED JANUARY 23, 2018 UNDER RECEPTION NO. [2018000006818](#).
57. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN MIDTOWN AT CLEAR CREEK IN THE COUNTY OF ADAMS, COLORADO THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN COVER SHEET/LEGAL DESCRIPTION RECORDED MARCH 06, 2018 UNDER RECEPTION NO. [2018000018408](#).
58. TERMS, CONDITIONS AND PROVISIONS OF CITY OF WESTMINSTER TEMPORY CONSTRUCTION EASEMENT AGREEMENT RECORDED APRIL 17, 2018 UNDER RECEPTION NO. [2018000030690](#),
[2018000030700](#).
59. TERMS, CONDITIONS AND PROVISIONS OF ORDER ORGANIZING THE CONSOLIDATED DISTRICT TO BE KNOWN AT CLEAR CREEK METROPOLITAN DISTRICT IN CASE NO. 07CV1315 RECORDED JULY 02, 2018 UNDER RECEPTION NO. [2018000053287](#).

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60. TERMS, CONDITIONS AND PROVISIONS OF NOTIFICATION, RELEASE AND DECLARATION RECORDED AUGUST 09, 2018 UNDER RECEPTION NO. [2018000064674](#).
61. TERMS, CONDITIONS, RESERVATIONS AND PROVISIONS OF SPECIAL WARRANTY DEED FROM BPI WESTMINSTER, LLC, A COLORADO LIMITED LIABILITY COMPANY TO MIDTOWN FACILITY LLC, A COLORADO LIMITED LIABILITY COMPANY RECORDED APRIL 17, 2019 UNDER RECEPTION NO. [2019000028298](#). (AS TO PARCEL A)
62. TERMS, CONDITIONS, RESERVATIONS AND PROVISIONS OF SPECIAL WARRANTY DEED FROM BPI WESTMINSTER, LLC, A COLORADO LIMITED LIABILITY COMPANY TO MIDTOWN FACILITY LLC, A COLORADO LIMITED LIABILITY COMPANY RECORDED FEBRUARY 05, 2020 UNDER RECEPTION NO. [2020000011177](#). (AS TO BOTH PARCELS)

Endorsement
Attached to Policy Number OX70615836.1.1891838
Our Order Number 70615836.1
issued by Old Republic National Title Insurance Company

The effective Date of Policy is hereby changed from 02/05/2020 AT 5:00 P.M. to 11/16/2022 AT 5:00 P.M..

The Company hereby insures:

1. That, except as otherwise expressly provided herein, there are no liens, encumbrances or other matters shown by the Public Records, affecting said estate or interest, other than those shown in said policy, except: MODIFICATION TO ENVIROMENTAL COVENANT RECORDED APRIL 5, 2022 UNDER RECEPTION NO. [2022000029974](#).
2. That, as shown by the Public Records, the Title to said estate or interest is vested in the vestees shown in Schedule A.
MIDTOWN FACILITY LLC, A COLORADO LIMITED LIABILITY COMPANY

Dated: NOVEMBER 16, 2022

This endorsement is issued as part of the Policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the Policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the Policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the Policy and of any prior endorsements.

Old Republic National Title Insurance Company

By: LAND TITLE GUARANTEE COMPANY

By: 

Craig B. Rants, Senior Vice President

November 23, 2022

Adams County – Community & Economic Development Department
Attn: Layla Bajelan
4430 S Adams County Pkwy
Brighton, CO 80601

Re: **Midtown, Filing No. 12 – 3rd Review Comments**
Project Number: PRC2020-00008

Dear Ms. Bajelan,

Thank you for taking the time to review the Midtown Filing No. 12 Final Development Plan and Final Plat, along with County staff. Valuable feedback was received on November 14th, 2022. Detailed responses to comments have been noted on the following pages. Should you have any questions or concerns, please feel free to reach out via phone, 303-892-1166 or by email, emather@norris-design.com.

Sincerely,
Norris Design



Eva Mather
Principal

Development Review Team Comments –3rd Review

Commenting Division: Planning and Development

Name of Reviewer: Layla Bajelan, Senior Long Range Planner

Email: lbajelan@adcogov.org / 720-523-6863

PLN01: Final Development Plan should include all of the information for the development that was outlined in the Preliminary Development Plan. It appears the following information was included in the Preliminary Development Plan, but is not included in this Final Development Plan. Please ensure all other information is included.

- Information on Accessory Structures
- Language on Accessory Dwelling Units was included in the PDP, is this applicable to this FDP? If not, specify.
- Information on fencing types and locations allowed (must set parameters)
- Minimum lot widths and lot size should be outlined in the FDP (without this information, the plat cannot be adequately reviewed, and additional comments may be provided on future reviews) The FDP only sets a range for minimum square footage for the townhomes.

Response: Additional information regarding lot widths and lot sizes are detailed on Sheet 22 and fencing parameters have been provided on Sheet 31.

PLN02: Applicant needs to remove all the references to the 2nd and 3rd Amendment. This is not needed within the FDP and the FDP should reflect the most recently approved version. Someone reviewing the FDP should not have to reference the PDP for any requirements.

Response: All references to the 2nd and 3rd amendments to the PDP have been removed.

PLN03: All references and notes to parking on Zuni Street need to be removed from the FDP. This street is outside of the development and on-street parking is not guaranteed and therefore, should not be included in the parking counts.

Response: References and notes to parking on Zuni Street have been removed.

PLN04: Staff has concerns over the parking provided within this filing. There appears to only be 20 offstreet parking spaces provided for the visitors of these units and the visitors of the park.

Response: Parking meets the requirements for the PDP, exceeding 2.5 spaces per unit in this filing and for the community overall. Filing 12 provides 2.95 spaces per unit and Midtown provides 3.87 spaces overall. Parking surrounds the park via on-street and off-street parking spaces on the north, east and west and multi-modal trail access on the south. The park is a Midtown Metro District amenity and the amount of parking provided is sufficient for Midtown residents, visitors and park users.

PLN05: Please include more information on the active open space provided within. There should be a narrative on what makes the open space active.

Response: Additional information has been provided on Sheet 18 describing the areas that are being proposed as active open space, as well as on the narrative of Sheet 2.

PLN06: Sheet 2, A- This section was added in this review and is confusing. I believe it may be missing some detail? "Together with all 11.5 acres of park and open space in Filing 11, , this open space and park will be 32.5 acres."

Response: This section has been reworded to explain that Filing 12 with Filing 6 equals 32.5 acres of open space overall.

PLN07: Sheet 2, E- This section notes that the parking summary is located on sheet 28 and that is incorrect. Please review all section references in the FDP to ensure they are correct with the revised document.

Response: A detailed parking exhibit has been included on Sheet 32.

PLN08: Sheet 2, H This section noted that monument details are on sheet 27, which is incorrect. Please ensure that parameters for the signage that includes maximum height and width and materials is included in the narrative or sheet 30.

Response: Sheet 30 has been updated to provide signage parameters.

PLN09: Sheet 2, M- Why would the director be approving overall architectural intent.

Response: This sentence has been removed.

PLN10: Sheet 3, on street parking should not count towards the totals. Public Works has not agreed to on street parking on Zuni. Please provide documentation stating such or remove from totals. Staff has concerns over the amount of parking provided for visitors and the park guests.

Response: Parking on Zuni Street is no longer being included in the parking totals. Parking surrounds the park via on-street and off-street parking spaces on the north, east and west and multi-modal trail access on the south. The park is a Midtown metro-district amenity and the amount of parking provided is sufficient for Midtown residents, visitors and park users.

PLN11: Sheet 3, Staff does not agree that sodded areas count towards active open space. The FDP has 100% for % of minimum required open space that is active. Please define how this is active.

Response: Per conversation with Layla Bajelan on November 18th, all sod is not being counted towards active open space. The Open Space Summary table on Sheet 3 states that Filing 12 active open space is meeting 100% of the active space required for this filing. Please also refer to Sheet 18 for a supporting exhibit.

PLN12: Sheet 3, the FDP does not do a great job of describing/illustrating the open space or active open space. Staff believes that a ball field/ playfield is now being proposed, but the image does a poor job of portraying such. Clear Creek Valley PDP is a great example of how the open space was defined in a way that adequately showed the minimums are being met and high-quality areas are being proposed.

Response: The Park Overall Plan on Sheet 18 has been revised to clearly show open space areas versus active open space areas, also including narratives on reasons some parts are active open space or general open space.

PLN13: Sheet 9- Please remove this language from the note or provide documentation stating is approved by Public Works. "IT IS ASSUMED PARKING WILL BE PERMITTED ON THE SOUTH AND WEST SIDES OF 70TH AVE AND ZUNI STREET."

Response: Note has been removed.

PLN14: Sheet 18- Improvements should be made to this sheet to better define the open space and active open space.

Response: The Park Overall Plan on Sheet 18 has been revised to clearly show open space areas versus active open space areas, also including narratives on reasons some parts are active open space or general open space.

PLN15: Sheet 19- Staff is confused what tree lawns are being proposed by the individual units. Isn't this all Tract A?

Response: Maintenance and responsibility table has been updated per conversation with Layla on November 18, 2022.

PLN16: Sheet 19, Note 7 is this supposed to reference MCCMD?

Response: This note is updated to reference MMD.

PLN17: Sheet 20 and 21- Lot typicals with setbacks were removed from sheet 22 and it would be helpful for building permit reviewers if they were added back to the FDP or if they were included on images on page 20 and 21.

Response: Setback and Height Restrictions Table and lot typicals have been included on Sheet 22.

PLN18: Sheet 22- Below the table it states “refer to the second amendment to the PDP for full list of notes”. They should be included on the FDP as well.

Response: Notes section has been updated.

PLN19: It has been an issue up with other PUDs that many FDPs do not set parameters for the shelters, play structures, etc. We need parameters on maximum height, setbacks, etc. within the FDP to adequately review permits.

Response: Setback and Height Restrictions Table and lot typicals have been included on Sheet 22 as well as updated restrictions on Sheet 2 of the narrative.

PLN20: Please specify where each elevation is to be located within the FDP.

Response: Our team is working to identify which elevation would be built on which site. This information will be updated with our next resubmittal.

PLN21: Sheet 2, M- Why would the director be approving overall architectural intent.

Response: This sentence has been removed.

PLN22: The final plat and the final development plan should be consistent with the ownership and maintenance. For example, the FDP states the MMD and the plat states the CCSMD. Why are there two different names?

Response: Final Plat and FDP have been updated to only reflect MMD moving forward.

PLN23: Due to conflict with the installation of the park and open space facilities, staff would require the park improvements to be within the SIA. The County needs reassurance that the amenities will be put into place.

Response: Brookfield is discussing terms of acceptance with the Metro District. It is understood that if an agreement is not finalized with the Metro District, additional conditions will need to be incorporated into the SIA.

PLN24: Staff will be sending the case out again for referral and public comment. Please do not resubmit on this case without having all of the comments addressed from that submittal. To avoid confusion, this review is staff only.

Response: We understand that this review was not sent out for referral, however per discussion with Layla Bajelan on 11/18/22, we discussed the ability to revise the FDP and Final Plat to address these comments and updating the referral case during the current referral period.

Commenting Division: Planning and Development

Name of Reviewer: Matt Emmens, Senior Civil Engineer

Email: MEmmens@adcogov.org / 720-523-6826

ENG1: Engineering Review application EGR2022-00027 has been received and is currently under review.

Comments will be provided separately for the engineering submittal. All engineering concerns must be resolved prior to scheduling final plat for public hearing.

- Response: Comments received, and responses have been provided with this submittal.
- County Response: The construction documents are still under review. Comments will be forwarded to the applicant when the review is complete. Please note, the engineering review (EGR Case) is a separate review case than the FDP case. Construction plans must be made through a separate submittal.

Response: Noted, thank you.

ENG2: Remove the following statement from the FDP: “a signalized intersection at West 67th Avenue moves motorists through the central West 67th Avenue corridor and away from the existing neighborhood and 68th Avenue”. Filing 12 has no connection to W 67th Ave.

- Response: Statement has been removed.
- County Response: Comment Closed.

ENG3: Remove reference to on-street parking on 70th Avenue and Zuni Street from the FDP. These are public streets not within the subdivision or FDP limits. Remove presumed parking on 70th Ave and Zuni Street from parking count tables and all other sheets in the FDP.

- Response: On-street parking on 70th and Zuni have been removed from the plan.
- County Response: Zuni street Parking is still referenced on sheet 3.

Response: Zuni Street parking has been removed.

ENG4: The FDP must state that the metro district or private property owners are responsible for maintaining the curb, gutter, sidewalk and landscaping within the public right-of-way abutting their property. Also note that Adams County is not responsible for repairing or maintaining landscaping that is damaged as a result of roadway maintenance activities, including but not limited to de-icing chemicals and street repairs.

- Filing 6 FDP noted “Homeowner of land abutting constructed public right-of-way is responsible for maintenance of curb, gutter, and sidewalk along the right-of-way abutting their property including snow removal for pedestrian access.”
- Response: Text has been updated per redlines.
- County Response: Comment Closed.

- Third Amendment to the PDP noted “Private lot owners shall be responsible for the maintenance of their property as well as adjacent tree lawn area(s). Maintenance of the tree lawn between front property line and street shall be the primary responsibility of the homeowner in most circumstances under the requirements of the Metro District covenants. Adams County is not responsible for repairing or maintaining landscaping that is damaged as a result of roadway maintenance activities, including but not limited to de-icing chemicals and street repairs.”
- Response: Text has been updated per redlines.
- County Response: Comment Closed.

ENG5: Indicate maintenance and billing responsibilities for proposed streetlights in the Public ROW.

- Response: Maintenance and billing responsibilities will be provided by the Metro District, which will be consistent with other filings.
- County Response: Comment Closed.

ENG6: Why is the developer requesting a pre-plat SIA? Engineering plans and proposed quantities must be approved prior to the approval of any SIA. No building permits will be approved until the plat is approved at a minimum, and preliminary acceptance is granted. All redlines on the SIA draft must be addressed.

- Response: The pre-plat SIA has been eliminated. During the comment review meeting on 6/29/22 it was discussed that Brookfield could obtain an early grading permit.
- County Response: Comment Closed.

ENG7: Remove phasing from the SIA. Public improvements outlined in the agreement must be completed prior to preliminary acceptance. Only a single preliminary acceptance will be granted for the development.

- Response: The phasing has been removed from the SIA.
- County Response: Comment Closed.

ENG8: Engineering quantities are under review with the Engineering Review submittal. Cash-in-lieu was accepted for 70th Ave and Zuni St improvements adjacent to the proposed subdivision with the Midtown at Clear Creek Filing 6 SIA (Rec. No. 2018000006818).

- Response: Comment noted, thank you.
- County Response: the quantities are still under review as part of the EGR case.

Response: Noted, thank you.

ENG9: Easements specified in construction documents must also be depicted on the plat, including storm sewer easements.

- Response: All easements are now reflected on the plat.
- County Response: Comment Closed.

ENG10: All improvements that impact 70th Ave and Zuni Street right-of-way, such as drainage and access, will need to be coordinated with the Adams County CIP team.

- Response: We have met with CIP Team and will continue to coordinate with HCL as information is provided. Will continue to design to continued street section.
- County Response: Comment Closed.

Commenting Division: Public Works

Name of Reviewer: David Dittmer, Right-of-Way Agent

Email: DDittmer@adcogov.org / 720-523-6811

PLT COMMENTS

ROW1: A Title Commitment must be provided prior to subsequent reviews. This has previously requested and not found in the re-submittal packet.

Response: Updated Title Commitment has been provided as requested.

ROW2: No colored ink allowed on plats. Mylar does not reproduce well.

Response: Noted, plat will be printed without color. Thank you.

ROW3: Provide a copy of a recorded statement of authority for the signatory for Midtown Facility LLC. The signature block and notary affirmation must match this information.

Response: Statement of Authority is out for signatures and will be provided once completed and prior to final plat approval.

ROW4: Revise Ownership and Dedication Statement as provided. Refer to the application guidelines for approved statements and requirements

Response: Revised as requested.

ROW5: Type out all names as provided at signature blocks and notary

Response: Revised as requested. Notary names have been left blank, information on who is notarizing is not known at this time. Prior to printing mylars the plat will be updated to include the typed names of the notaries.

ROW6: The preliminary plat should have been approved by the Planning Commission, as such they won't sign the final plat.

Response: Revised as requested.

ROW7: Add county attorney approval block

Response: Revised as requested.

ROW8: Name Bryant St. in Tract Summary Table/land use

Response: Bryant Street name added to ROW dedication in Tract summary table as requested.

ROW9: Type out signatory information for the metro district's acceptance

Response: Revised as requested.

ROW10: Title Storm Drainage Facilities Statement

Response: Revised as requested.

ROW11: Update note for title commitment

Response: Revised as requested. A new title endorsement has been provided for this submittal. Upon staff approval and prior to recordation a new title will be supplied.

ROW12: State on sheets my survey m/b information for Bryant Street and state X' Public ROW Dedicated by this plat

Response: Revised as requested.

ROW13: Provide street name (Bryant) on sheet 5

Response: Revised as requested.

ROW14: Any storm drainage facility constructed must be dedicated to the county and maintained by the metro district. Verify these location have access from a private drive or public ROW for Adams County inspections. Engineering review will need to verify this as well.

Response: The Site proposes to utilize the facility built with Midtown Filing 6. The facility was designed anticipating the future development of Filing 12 therefore no new storm drainage facilities will be required. The existing facility is within Tract F of Midtown Filing 6 and currently has access and easements for Adams County inspections.

FDP COMMENTS:

ROW1: The ownership as provided on the Final Plat does not match the ownership as provided on FDP. They must match.

Response: FDP has been updated to match the Final Plat.

ROW2: Format the signature and notary as provided on final plat and state requirements

Response: Signature and notary blocks are updated to match Final Plat and state requirements.

ROW3: The signature and approval blocks order of appearance.

- a. Owner
- b. Planning Commission
- c. Board of County Commissioners
- d. County Attorney
- e. Clerk and Recorder

Response: Signature blocks have been added and order has been updated.

ROW4: The final plat and the FDP do not state the same metro district. Once is CCSMD and this has MMD. They must be consistent

Response: Metro District has been updated to be consistent on both documents, reading MMD.

ROW5: NO parking on Zuni will be allowed. Remove the statement and number of spaces on Sheet 3 of 30

Response: Zuni Parking has been removed.

Commenting Division: Building Safety Division, Plans Examiner

Name of Reviewer: Heather Whiat

Email: JBlair@adcogov.org / 720-523-6843

BSD1- Building permits would be required for each structure. Engineered plans will be required to obtain permits.

Response: Noted, thank you.

BSD2- Applicant should refer to residential submittal requirements. Here is a link for your reference

<https://epermits.adcogov.org/submittal-checklists>

Response: Noted, thank you.

BSD3- Current adopted codes are the 2018 International Building Codes and the 2017 National Electrical Code.

Response: Noted, thank you.

BSD4- Applicant should contact Fire Department for their requirements. This is a separate permit, review, and inspection with your local fire department.

Response: Noted, thank you.

BSD5- Applicant will need to comply with State of Colorado requirements of Title 9 Article 5. An implementation plan will be required to show compliance.

Response: Noted, thank you.

End of Response to Comments

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING TWELVE

Sheet Title

COVER SHEET

Sheet Number

1 OF 32

Brookfield Properties

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

Redland
WHERE GREAT PLACES BEGIN

NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1188
www.norris-design.com

CERTIFICATE OF OWNERSHIP

Midtown Facility, LLC, being an owner of Midtown at Clear Creek - Filing No.12, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____
Peter Lauener - President

OWNER: _____
Sandra C. Thomas - Vice President

STATE OF COLORADO)
)SS
COUNTY OF _____)

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ A.D. 20____, BY _____ AS _____ OF MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, A.D., 20____.

CHAIR _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____, A.D., 20____.

CHAIR _____

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

CERTIFICATE OF THE CLERK AND RECORDER

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____ 20____.

County Clerk and Recorder _____

By Deputy: _____

LAND OWNERS

Midtown Facility, LLC
6465 S. Greenwood Plaza Blvd.
Suite 700
Centennial, CO 80111
Contact: Anastasia Urban
303-566-0654

APPLICANT

Midtown, LLC
6465 S. Greenwood Plaza Blvd.
Suite 700
Centennial, CO 80111
Contact: Anastasia Urban
303-566-0654

PREPARERS

ENGINEER:
Redland
1500 West Canal Court
Littleton, CO 80120
Contact: Mike Pietschmann
720-283-6783

PREPARERS

PLANNER:
Norris Design
1101 Bannock Street
Denver, CO 80204
Contact: Eva Mather 303-892-1166

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN THE EAST HALF OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ALL OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 AS RECORDED JANUARY 18, 2018 AT RECEPTION NO. 2018000005760 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE.

CONTAINING AN AREA OF 31.979 ACRES (1,393,023 SQUARE FEET), MORE OR LESS.

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

VICINITY MAP



SCALE: 1"= 1 MILE

SHEET INDEX-PUD-FDP

- | | |
|--|-----------------------------------|
| SHEET 1: COVER SHEET | SHEET 20: LANDSCAPE TYPICALS |
| SHEET 2: WRITTEN NARRATIVE | SHEET 21: LANDSCAPE TYPICALS |
| SHEET 3: SITE PLAN | SHEET 22: ARCHITECTURAL STANDARDS |
| SHEET 4: LANDSCAPE PLANT LIST & MATERIALS | SHEET 23: FARMHOUSE ELEVATIONS |
| SHEET 5: LANDSCAPE SITE PLAN | SHEET 24: FARMHOUSE ELEVATIONS |
| SHEET 6: LANDSCAPE SITE PLAN | SHEET 25: MODERN ELEVATIONS |
| SHEET 7: LANDSCAPE SITE PLAN | SHEET 26: MODERN ELEVATIONS |
| SHEET 8: LANDSCAPE SITE PLAN | SHEET 27: LANDSCAPE DETAILS |
| SHEET 9: LANDSCAPE SITE PLAN | SHEET 28: LANDSCAPE DETAILS |
| SHEET 10: LANDSCAPE SITE PLAN | SHEET 29: LANDSCAPE DETAILS |
| SHEET 11: LANDSCAPE SITE PLAN | SHEET 30: LANDSCAPE DETAILS |
| SHEET 12: LANDSCAPE SITE PLAN | SHEET 31: LANDSCAPE DETAILS |
| SHEET 13: LANDSCAPE SITE PLAN | SHEET 32: PARKING EXHIBIT |
| SHEET 14: LANDSCAPE SITE PLAN | |
| SHEET 15: LANDSCAPE SITE PLAN | |
| SHEET 16: LANDSCAPE SITE PLAN | |
| SHEET 17: LANDSCAPE ENLARGEMENT | |
| SHEET 18: PARK OVERALL PLAN | |
| SHEET 19: LANDSCAPE INSTALLATION & MAINTENANCE | |

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

Issue Date

04 / 15 / 2020

Revision Date

04 / 25 / 2022

10 / 14 / 2022

11 / 23 / 2022

NOT FOR CONSTRUCTION

CHECKED BY: JN, EM
DRAWN BY: IP, JK
FILENAME: PLAN-MIDTOWN-FILING12-FDP-LAND

NARRATIVE

A. Explanation of the Characteristics of the PUD

The Filing Twelve Final Development Plan (FDP) area at Midtown at Clear Creek is comprised of approximately 31.979 acres including 11 acres of residential development and 21 acres of park and open space. Together, including 11.5 acres of park and open space in Filing 6, this open space and park will be 32.5 acres, in total. The proposed development offers 107 additional alley-loaded townhomes. The open space improvements in this FDP seek to create a "natural" park for the greater Midtown Community.

Midtown's Natural Park is planned to be a 32.5-acre natural park that will have a variety of passive and active uses. Filing 12 is a 21-acre extension of the existing 11.5-acre Filing 6 Natural Park. The uses include those that have been carefully chosen by the residents of Midtown and include naturally revegetated areas throughout the entire park, along with both soft and hard trails to connect all the surrounding neighborhoods.

Filing Twelve will include a large natural landscape, playfield and a large trail system, consisting of +/- 9,800 linear feet, with connections to the existing community and the Little Dry Creek Regional Trail. Per Adams County requirements, at least 30% of the site shall be dedicated as open space (9.6 acres) and 25% of required open space as active open space (4.8 acres) Filing 12 has 25.7 acres of open space and 4.82 acres of active open space dedicated with this application. Active open space in Filing 12 consists of a large playfield, community garden and shelter area, wildflower meadow, lower garden, trail system, and fitness stair. Additionally, open space is provided by vast areas of native seed throughout the remaining ~20 acres of this Midtown community park.

This FDP is located at the southwest corner of W 70th Avenue and Zuni Street. Primary access to this FDP area is from a full movement connection from W 70th Ave and a secondary full movement from Zuni Street. The Filing Twelve FDP area emulates the established block structure, vehicular circulation and landscape treatment approved and constructed in other filings at Midtown.

B. Potential Impact or Proposed Mitigation on the Surrounding Area

This FDP is consistent with the approved PUD. The complete Midtown PUD is comprised of approximately 181.8 acres. Incorporated into the overall community vision is a local commercial / mixed-use area, a variety of residential home types and a system of open space, parks and trails which includes a dedicated open space area. Midtown provides great access to located Light Rail system, located approx. 1 mile from the Pecos Station and Westminster Station. The proximity to public transportation will help support RTD ridership.

C. Contemplated Intensity and Density of Land Use

107 single-family attached lots are proposed in the Filing Twelve FDP and the corresponding Final Plat. The proposed density and land coverage is consistent with the Third Amendment to the Preliminary Development Plan for the Midtown PUD.

Per the approved PDP for Midtown, the overall number of allowable residential units is 1,208 with a gross density of approximately 6.6 dwelling units per acre, Filing 12 is proposing 3.3 dwelling units per acre and maintaining overall 88.4 acres of parks, open space, detention, landscape buffers, green courts and right-of-way.

Based on planned build-out, the Midtown community will provide open space areas consistent with this type of urban infill development and meets or exceeds the Adams County standards for open space requirements.

D. Number, Type, and Size of Buildings and/or Units

107 single-family attached residential lots are proposed in the Filing Twelve FDP and the corresponding Final Plat. One rear-loaded home type is proposed in the Filing Twelve FDP, refer to Sheet 22 for the lot typical and the setback and building height restriction standards. The following description is the home type proposed in the Filing Twelve FDP:

Single Family Rear-loaded Townhome

Consists of multiple residences that share one (1) or two (2) walls with an adjoining home. These residences take access from a private drive. Sizes of residences vary in square footage.

Refer to Architectural Standards Sheet 22 for the setback and building height restriction standards. All non-residential buildings shall have a maximum height of 35'.

E. Provisions for Parking

Per the PDP, Midtown shall have 2.5 spaces per dwelling unit overall. Filing Twelve exceeds the required parking spaces per dwelling unit by providing 2.95 spaces per dwelling unit. Overall quantity of parking spaces provided within Midtown exceed the minimum parking requirement. The Midtown community as a whole is providing 3.87 spaces per dwelling unit. Alleys and private drives will be used to access garages and parking for the homes in this FDP. 26-foot and 30-foot wide fire access alleys are for passenger vehicles, garbage truck access, and fire access only and allow for alley-accessed garages. Each home will provide a minimum of two (2) garage parking spaces. Parallel parking is not allowed between the garage and paved alley in fire access alleys, but is permitted along internal roadways. Refer to Architectural Standards on Sheet 22. The parking exhibit is located on Sheet 32.

F. Circulation and Road Patterns

To help ensure a pedestrian-friendly environment, the planned circulation patterns allow for distribution and disbursement of internal traffic through the development. The vehicular road pattern for the Midtown community will integrate the existing and proposed roadway systems.

All streets meet the standards approved as part of the PUD. Regional improvements to Zuni Street and West 70th Avenue will be completed by the County. The streets will remain as existing until the County completes this infrastructure.

G. Ownership and Maintenance of Common Areas

All common areas will be maintained by the Midtown Metropolitan District ("MMD"). MMD is responsible for the enforcement of landscape maintenance requirements. Through the MMD, a DRC (Design Review Committee) will review private open space design for compatibility. All lots shall not be fenced in Filing 12, therefore making lawns a part of the open space. All common open space shall be installed by the developer and maintained by MMD. The County, its successor or assigns shall be responsible for maintaining all local streets after dedication, construction, and acceptance has been granted. Alleys, private drives and land abutting the right-of-way shall be privately maintained by MMD. Dog stations will be maintained by MMD.

H. Type, Location, Examples of Copy and Construction of Signs

Entry Monuments at Midtown are located at key intersections and crossings. This FDP includes one new Monument at the northwest corner of the site boundary south of 70th Avenue at the western property line. Refer to Sheet 30 for Monument detail.

I. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

The design intent for Midtown is to create a mixed-use infill community that includes a variety of home types. This FDP area includes single-family attached homes. In keeping with the Traditional Neighborhood Development concept, the Filing Twelve FDP area layout has a grid form to include rear-loaded townhomes. This FDP also includes open space tracts and landscaped tree lawns.

J. Location and Types of Landscaping and Maintenance Provisions

The approved Midtown PUD includes a variety of parks and open spaces strategically located throughout the community. This FDP includes streetscape landscape, a 21-acre expansion to the natural park, equaling a total of 32.5 acres, with active and passive programming, and various other landscape tracts. The Park and Landscape Tracts shall be maintained by the MMD. Tree lawns adjacent to private lots will be installed by the builder/developer and maintained by MMD.

K. Description of Building Envelopes Including Square Footage and/or Number of Units, Minimum Building Setback(s), Height, and General External Characteristics

Building setbacks are based on development standards approved in the PUD. Sheet 22 of this FDP further describes lot and building standards. Rear-loaded townhomes will range in size between 1,500 sf to 2,100 sf.

Architectural design allows for incorporation of a variety of architectural styles from contemporary to craftsman or prairie. All community development on the property should comply with these standards when they are adopted by the Design Review Committee.

L. Covenants to be Imposed on the PUD

Architectural and landscape design guidelines have been developed for Midtown. All builders and homeowners will be required to go through the DRC.

M. Additional Controls such as an Architectural Control Committee of a Property Owner's Association

The community will have a Metropolitan District that will create a Design Review Committee (DRC) that will enforce design standards through Declaration of Easements and Master Architectural and Maintenance Standards for Midtown. All architectural styles of proposed buildings shall require approval by the Design Review Committee overseen by the MMD and shall be consistent with the design guidelines for this community.

N. Utilization and Location of any Outdoor Signage

All proposed marketing / temporary signage will be submitted for approval and meet County signage standards and ordinances.

O. Utility Services

Crestview Water and Sanitation District have indicated they have adequate capability to serve this property with both water and sanitary sewer. Xcel Energy will provide gas and electric services to the property. Appropriate easements for associated improvements and utility lines are included on the Filing Twelve Subdivision Final Plat.

P. Estimated Time Table for Development

The estimated length of time for build-out of the Filing Twelve FDP area of Midtown is two (2) years. Grading would commence directly after County approval with an intent for initial acceptance to start construction occurring in the winter 2022/2023. Full build-out for the Midtown neighborhoods is approximately five (5) to fifteen (15) years.

Q. Any other Pertinent Factors Concerning the Development

Adams County Fire District will service Midtown property west of Pecos Street, including the Filing Twelve FDP area.

R. Definitions

Alley Loaded / Rear Loaded Garage: A garage with the vehicular door access located onto an alley located at the rear (or sometimes side) of the lot.

S. Staging:

Staging will be per the approved SIA for Filing 12.

Sheet Title

WRITTEN
NARRATIVE

Sheet Number

2 OF 32

Brookfield
Properties

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

Redland
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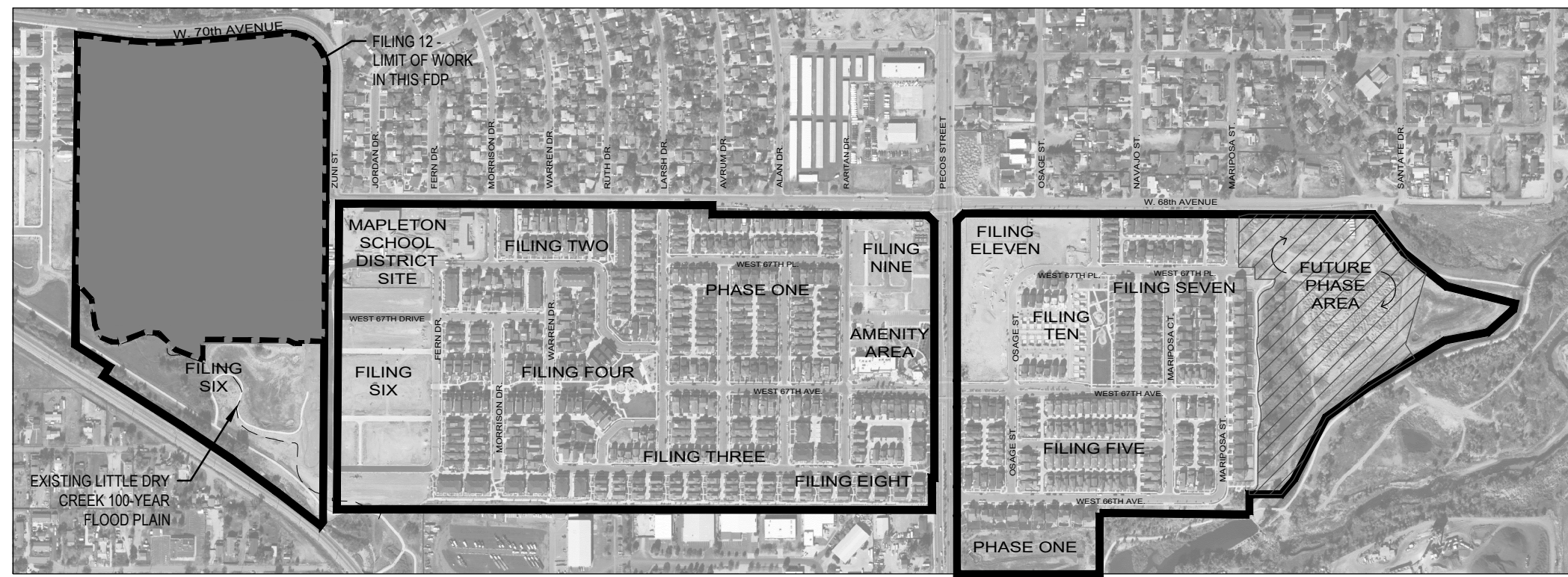
Revision Date

04 / 25 / 2022

10 / 14 / 2022

11 / 23 / 2022

NOT FOR
CONSTRUCTION



MIDTOWN AT CLEAR CREEK SITE PLAN - CONTEXT MAP

NOT TO SCALE

DEVELOPMENT AREA

FILING 12 AREA	31.979 ACRES	
TOTAL DEVELOPMENT ALL PHASES	181.8 ACRES	1,208 MAX UNITS

LOT SUMMARY

LOT TYPE	QUANTITY
① REAR-LOADED TOWNHOME (BLOCK 1)	47
② REAR-LOADED TOWNHOME (BLOCK 2)	52
③ REAR-LOADED TOWNHOME (BLOCK 3)	8
TOTAL	107

* NOTE: ARCHITECTURE ELEVATIONS AND SETBACK DIAGRAMS: REFER TO SHEET 22 FOR LOT TYPE DETAILS.

PARKING COUNT

DESCRIPTION	LOTS & BLOCKS	QUANTITY
① ALLEY-LOADED SINGLE	BLOCK 1 - LOTS 1-47	214 SPACES (2 SPACES PER UNIT)
② FAMILY ATTACHED	BLOCK 2 - LOTS 1-52	
③ TOWNHOMES WITH 2 CAR GARAGE	BLOCK 3 - LOTS 1-8	
ON STREET PARKING SPACES	BRYANT STREET	82 SPACES
OFF STREET PARKING LOT SPACES		20 SPACES
TOTAL SPACES		316
SPACES PER UNIT		2.95

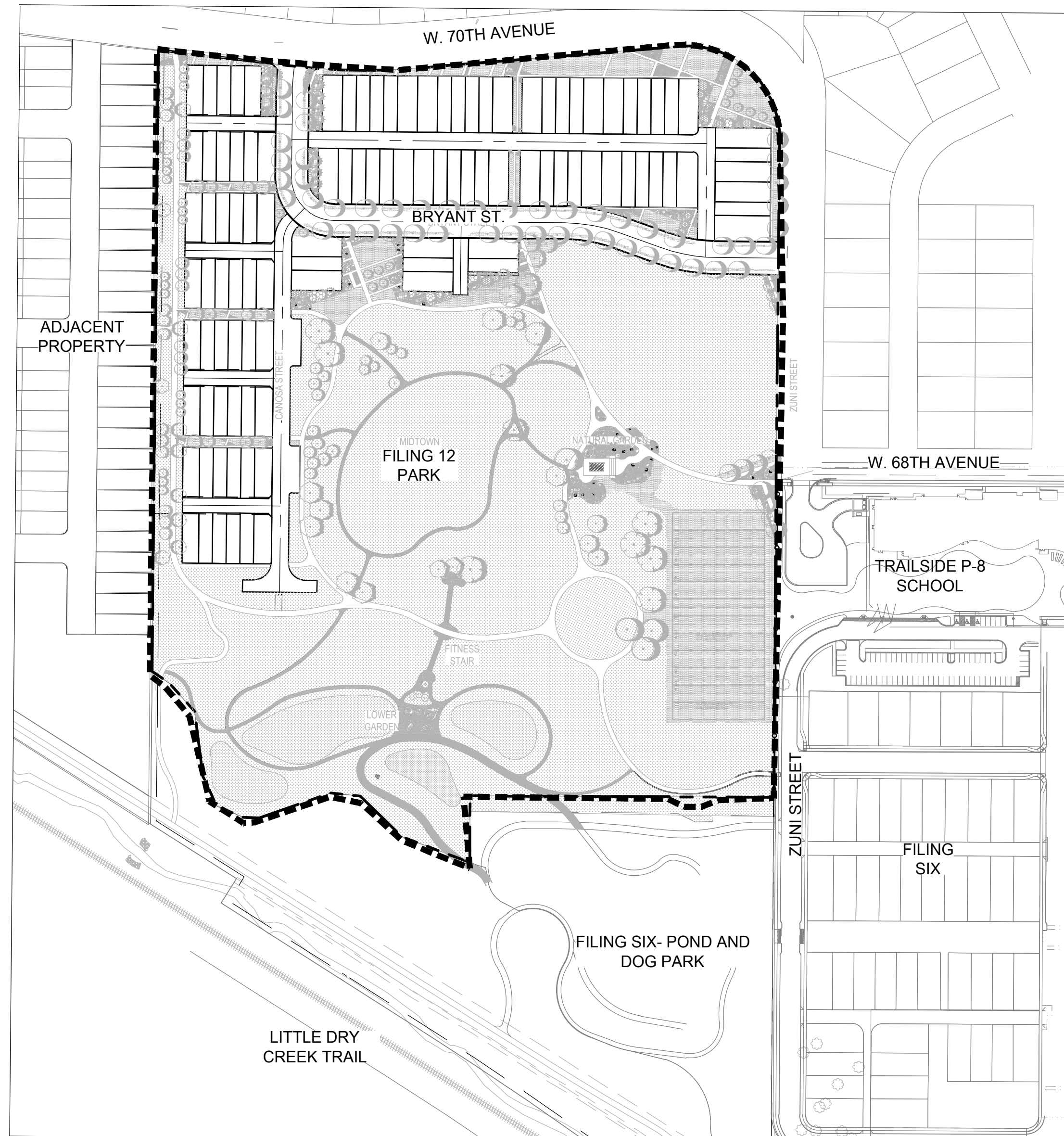
* NOTE: WEST 70TH AVENUE AND ZUNI STREET, SIDEWALK, LANDSCAPE, AND IRRIGATION ARE REGIONAL IMPROVEMENTS TO BE COMPLETED BY ADAMS COUNTY, ROW SHOWN IS EXISTING UNTIL IMPROVEMENTS ARE COMPLETED BY THE COUNTY.

OPEN SPACE SUMMARY

FILING ACRES	OPEN SPACE PROVIDED	OPEN SPACE AS A % OF FILING	ACTIVE ACREAGE	% OF MINIMUM REQUIRED OPEN SPACE THAT IS ACTIVE
32	25.7 (9.6 ACRES REQUIRED)	80 % (30% MIN. REQUIRED)	4.82 ACRES	100% (1)(2)

NOTES:
ALL CALCULATIONS ARE BASED ON ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS, WHICH REQUIRE A MINIMUM OPEN SPACE THAT IS 30 PERCENT OF THE TOTAL ACREAGE, AND THAT 25 PERCENT OF THE MINIMUM OPEN SPACE BE ACTIVE. PER THE PDP, FILING 12 SHOULD HAVE A MINIMUM OF 21.0 ACRES OF OPEN SPACE AND OF THAT A MINIMUM OF 4.8 ACRES BE ACTIVE.

- (1) OPEN SPACE CONSISTS OF SODDED AREAS, RIGHT OF WAYS, NATURAL AND NATIVE AREAS, AND GREEN COURTS.
- (2) ACTIVE OPEN SPACE CONSISTS OF SITE AMENITIES, WALKS, TRAILS, SODDED AREAS, GATHERING SPACES, PLAYFIELD AND FITNESS STAIR.



NOT TO SCALE

Sheet Title

SITE PLAN

Sheet Number

3 OF 32

Brookfield Properties

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451



1101 Bannock Street
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LANDSCAPE PLANT LIST

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AC AB	ACER X FREEMANII 'JEFFERSRED' TM	AUTUMN BLAZE FREEMAN MAPLE	B & B	2.5" CAL.	58
CA FR	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	B & B	2.5" CAL.	27
CE OC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2.5" CAL.	4
GI BI	GINKGO BILOBA	MAIDENHAIR TREE	B & B	2.5" CAL.	7
PL BL	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE	B & B	2.5" CAL.	7
PO AC	POPULUS X ACUMINATA	LANCELEAF COTTONWOOD	B & B	2.5" CAL.	2
QU MC	QUERCUS MACROCARPA	BURR OAK	B & B	2.5" CAL.	7
QU RO	QUERCUS ROBUR	ENGLISH OAK	B & B	2.5" CAL.	1
QU RU	QUERCUS RUBRA	RED OAK	B & B	2.5" CAL.	4
UL CA	ULMUS X 'FRONTIER'	FRONTIER ELM	B & B	2.5" CAL.	11

EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
PI CO	PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HT.	28
PI PU	PICEA PUNGENS 'BAKERI'	BAKER COLORADO SPRUCE	B & B	6' HT.	10
PI PI	PINUS EDULIS	PINYON PINE	B & B	6' HT.	2
PI NI	PINUS NIGRA	AUSTRIAN PINE	CONT.	8' HT.	3

ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AC PP	ACER TATARICUM 'PATDELL' TM	PATTERN PERFECT TATARIAN MAPLE	B & B	1.5" CAL.	9
CR PH	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	B & B	1.5" CAL.	6
MA RA	MALUS X 'RADIANT'	RADIANT CRABAPPLE	B & B	1.5" CAL.	6
QU SK	QUERCUS ROBUR 'FASTIGIATA' TM	SKYROCKET ENGLISH OAK	CONT.	1.5" CAL.	34
SY RE	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	1.5" CAL.	1

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AM AL	AMELANCHIER ALNIFOLIA	SERVICEBERRY	CONT	5 GAL	9
AR TR	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	CONT	5 GAL	4
BU AL	BUDDLEJA ALTERNIFOLIA 'ARGENTEA'	SILVER FOUNTAIN BUTTERFLY BUSH	CONT	5 GAL	5
CE IN	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGONY	CONT	5 GAL	27
CH NA	CHRYSOTHAMNUS NAUSEOSUS	RUBBER RABBITBRUSH	CONT	5 GAL	3
CH AL	CHRYSOTHAMNUS NAUSEOSUS ALBICAULIS	TALL BLUE RABBITBRUSH	CONT	5 GAL	1
CH NN	CHRYSOTHAMNUS NAUSEOSUS NAUCEOSUS	BABY BLUE RABBITBRUSH	CONT	5 GAL	14
CO IS	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	CONT	5 GAL	12
CY SP	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	CONT	5 GAL	7
FA PA	FALLUGIA PARADOXA	APACHE PLUME	CONT	5 GAL	5
FR FL	FRANGULA ALNUS 'FINE LINE' TM	TALL FERNLEAF BUCKTHORN	CONT	5 GAL	23
HO DU	HOLIDISCUS DUMOSUS	ROCK SPIREA	CONT	5 GAL	13
LO KO	LONICERA KOROLKOWII 'BLUE VELVET'	BLUE VELVET HONEYSUCKLE	CONT	5 GAL	2
PE AT	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT	5 GAL	41
PE LS	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT	5 GAL	48
PH MO	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	CONT	5 GAL	6
PO ME	POTENTILLA MEGALANTHA	CINQUEFOIL	CONT	5 GAL	131
PR BE	PRUNUS BESSEYI	WESTERN SAND CHERRY	CONT	5 GAL	12
PR PB	PRUNUS BESSEYI PAWNEE BUTTES	CREEPING WESTERN SAND CHERRY	CONT	5 GAL	10
PR RP	PRUNUS GLANDULOSA 'ROSEA PLENA'	PINK FLOWERING ALMOND	CONT	5 GAL	6
RU LA	RHUS TYPHINA 'LACINATA'	CUTLEAF STAGHORN SUMAC	CONT	#5	24
RO BO	ROSA BONICA	BONICA ROSE	CONT	5 GAL	17
RO GL	ROSA GLAUCA	REDLEAF ROSE	CONT	5 GAL	7
RO WO	ROSA WOODSII	MOUNTAIN ROSE	CONT	5 GAL	30
SP LP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS JAPANESE SPIREA	CONT	5 GAL	20
SY OR	SYMPHORICARPOS OREOPHILUS	MOUNTAIN SNOWBERRY	CONT	5 GAL	5
SY MK	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT	5 GAL	6
SY VU	SYRINGA VULGARIS	COMMON PURPLE LILAC	CONT	5 GAL	1

EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AR CH	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	CHIEFTAIN MANZANITA	CONT	5 GAL	60
AR PA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	CONT	5 GAL	59
JU BH	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT	5 GAL	14
JU BR	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	CONT	5 GAL	24
PI MO	PINUS MUGO 'MOPS'	MUGO PINE	CONT	5 GAL	103

ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AN WI	ANDROPOGON GERARDII 'WINDWALKER'	WINDWALKER BIG BLUE STEM	CONT	1 GAL	32
BO BA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT	1 GAL	63
CA BR	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	CONT	1 GAL	28
CA KF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT	1 GAL	91
HE SE	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	CONT	1 GAL	115
MI PU	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	CONT	1 GAL	1
NA TE	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	CONT	1 GAL	254
PA SH	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	CONT	1 GAL	64
PE HA	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CONT	1 GAL	16
SC SC	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT	1 GAL	79
SP HE	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT	1 GAL	38
SP WR	SPOROBOLUS WRIGHTII	BIG SACATON	CONT	1 GAL	22

PERENNIALS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	QTY
AC MI	ACHILLEA MILLEFOLIUM	COMMON YARROW	CONT	1 GAL	16
AC MO	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT	1 GAL	6
AQ CA	AQUILEGIA CAERULEA	ROCKY MOUNTAIN COLUMBINE	CONT	1 GAL	66
CA SU	CAMPANULA GLOMERATA 'SUPERBA'	CLUSTERED BELLFLOWER	CONT	1 GAL	6
CA PE	CAMPANULA PERSICIFOLIA 'ALBA'	PEACHLEAF BELLFLOWER	CONT	1 GAL	6
EC PU	ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT	1 GAL	39
GA AR	GAILLARDIA ARISTATA	NATIVE BLANKET FLOWER	CONT	1 GAL	50
HE HR	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	CONT	1 GAL	14
HE LB	HEMEROCALLIS X 'LITTLE BUSINESS'	LITTLE BUSINESS DAYLILY	CONT	1 GAL	3
HE PM	HEMEROCALLIS X 'PARDON ME'	PARDON ME DAYLILY	CONT	1 GAL	14
HE RC	HEMEROCALLIS X 'ROCKET CITY'	ROCKET CITY DAYLILY	CONT	1 GAL	6
HE ST	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	CONT	1 GAL	48
LA AN	LAVANDULA ANGUSTIFOLIA 'MUNSTE'	MUNSTEAD ENGLISH LAVENDEF	CONT	1 GAL	8

SOD MIX:

TURF GRASS BLEND: SOD

COMMON NAME	% OF TOTAL
90 /10 FESCUE MIX	100%
90 FESCUE	90%
10 BLUEGRASS	10%
TOTAL	100%

LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT A MINIMUM OF 5.0 CU.YRDS/1,000SF, UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS.
- SHRUB BEDS ARE TO BE MULCHED WITH 3" MIN. DEPTH 3/4" ANGULAR ROCK MULCH OR CRUSHER FINES OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
- SHRUB BEDS ARE TO BE CONTAINED BY EITHER 3/16" MIN. THICK METAL EDGER OR SPADE DUG EDGER. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS OR WALKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. QUANTITIES REPRESENTED GRAPHICALLY TAKE PRECEDENCE OVER LABELS.
- CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. THE UTILITIES SHOWN HEREON CONTAIN ONLY GENERAL INFORMATION AS TO THEIR DESCRIPTION, NATURE, AND GENERAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
- LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS UNLESS OTHERWISE NOTED. 20% OF NATIVE SEED TO BE IRRIGATED.

LANDSCAPE NOTES:
 1. NO ASH TREE VARITIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE.
 ALL USE OF ASH VARITIES ARE DISCOURAGED.

Sheet Title

LANDSCAPE PLANT LIST & MATERIALS

Sheet Number

4 OF 32

Brookfield Properties

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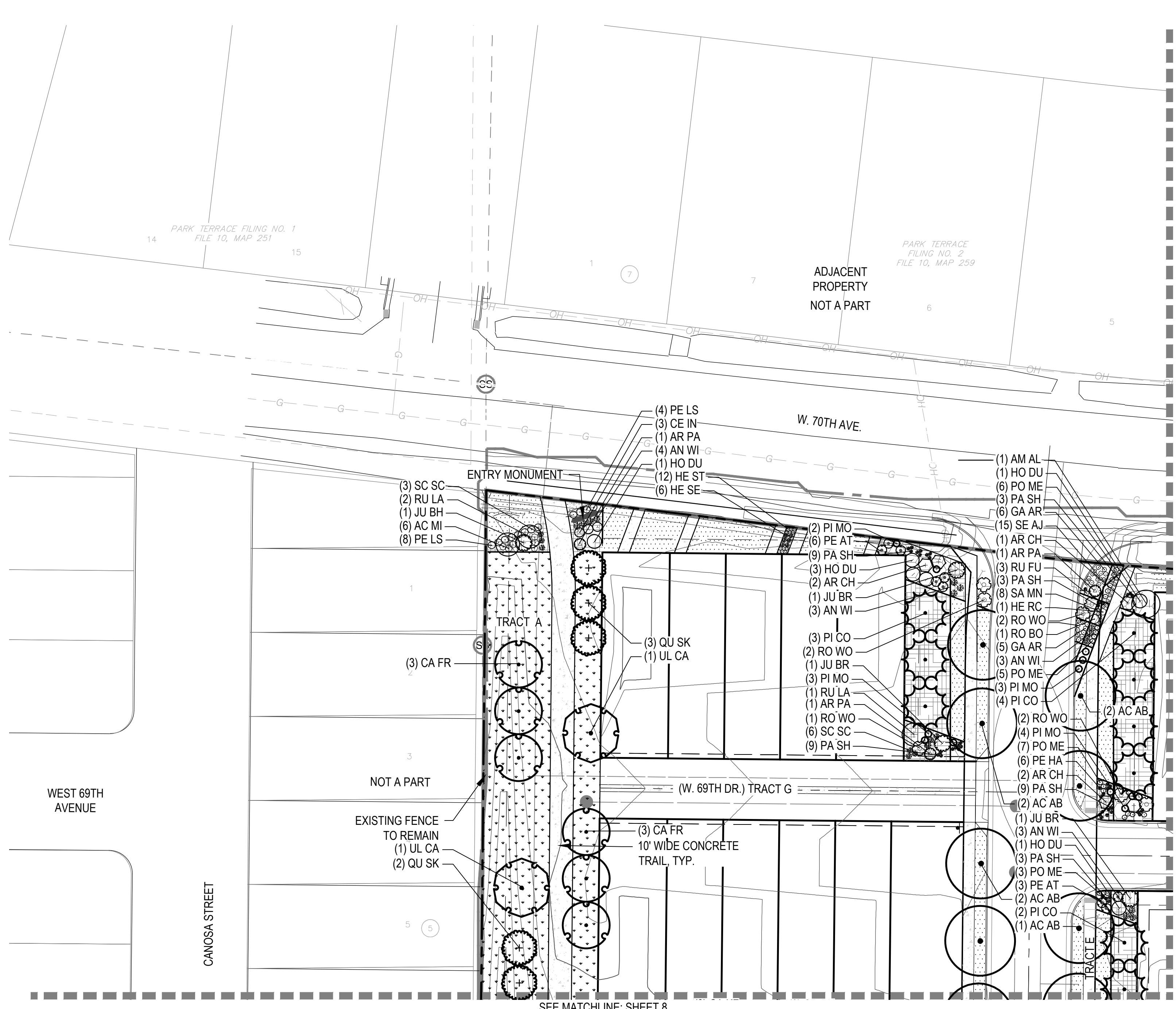
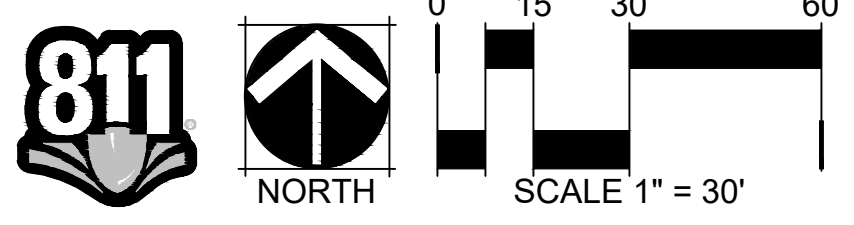
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MIDTOWN AT CLEAR CREEK
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ADAMS COUNTY, COLORADO

LEGEND

- MATCH LINE
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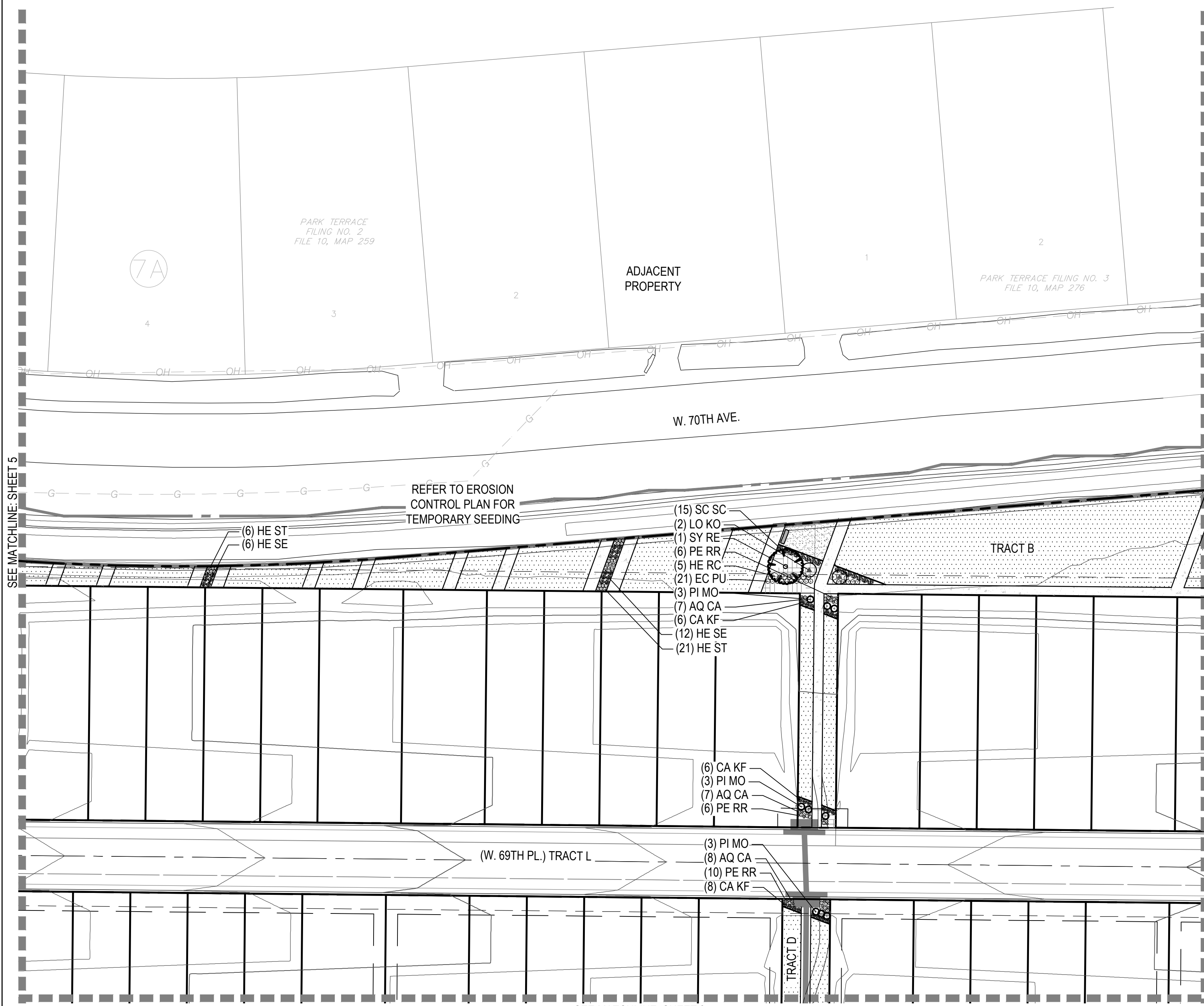
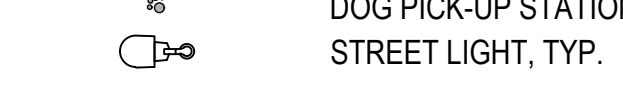
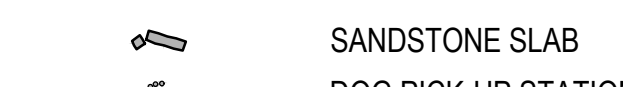
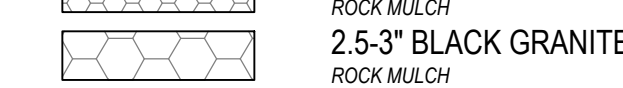
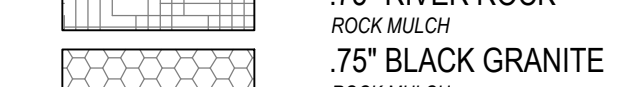
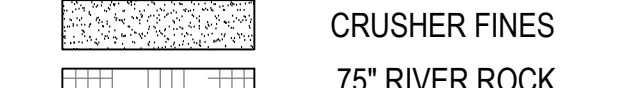
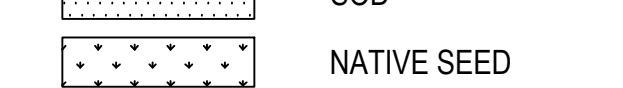
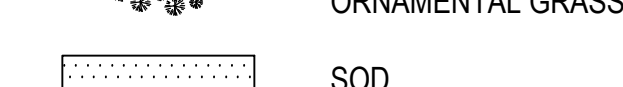
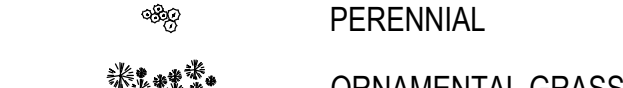
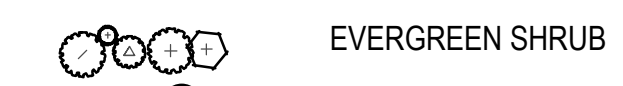
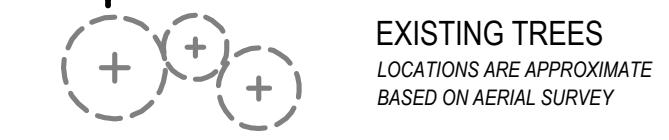
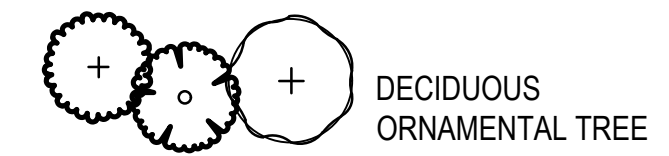
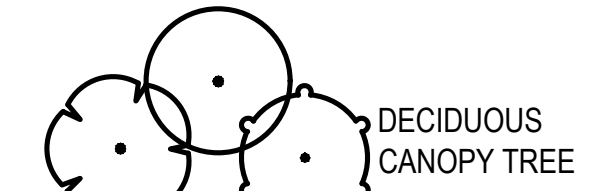


NOTE: WEST 70TH AVENUE AND ZUNI STREET, SIDEWALK, LANDSCAPE, AND IRRIGATION ARE REGIONAL IMPROVEMENTS TO BE COMPLETED BY ADAMS COUNTY, ROW SHOWN IS EXISTING UNTIL IMPROVEMENTS ARE COMPLETED BY THE COUNTY.

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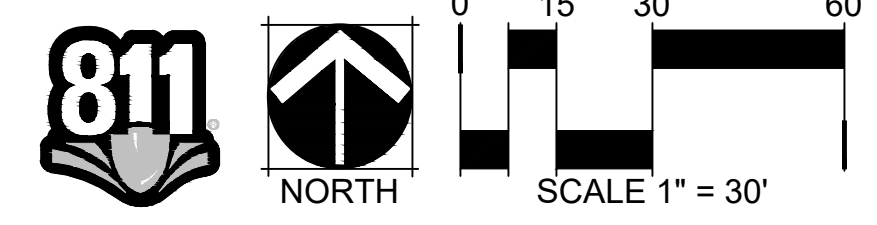
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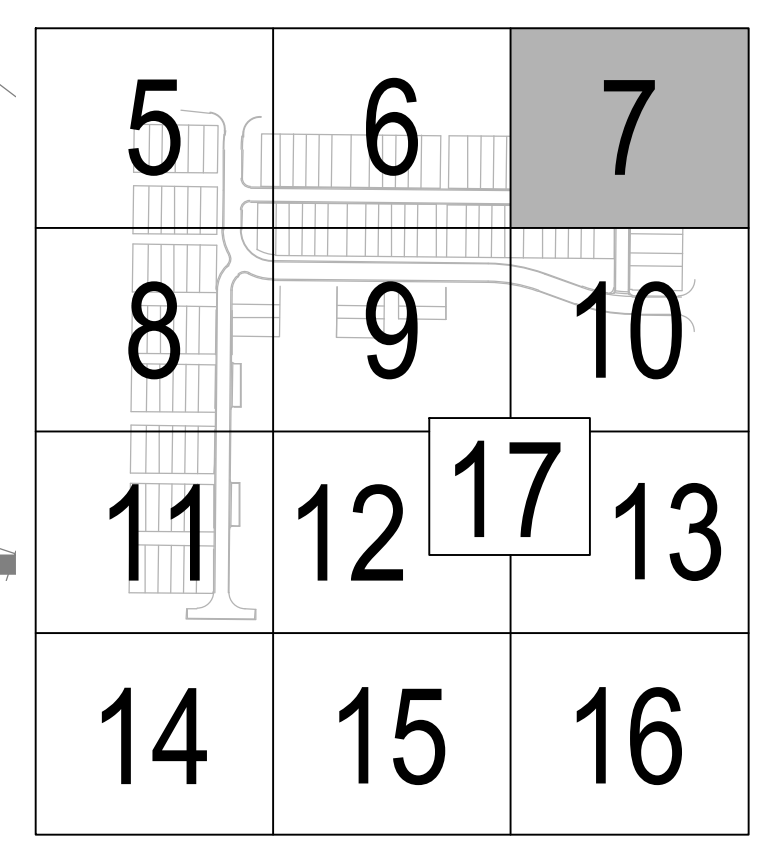
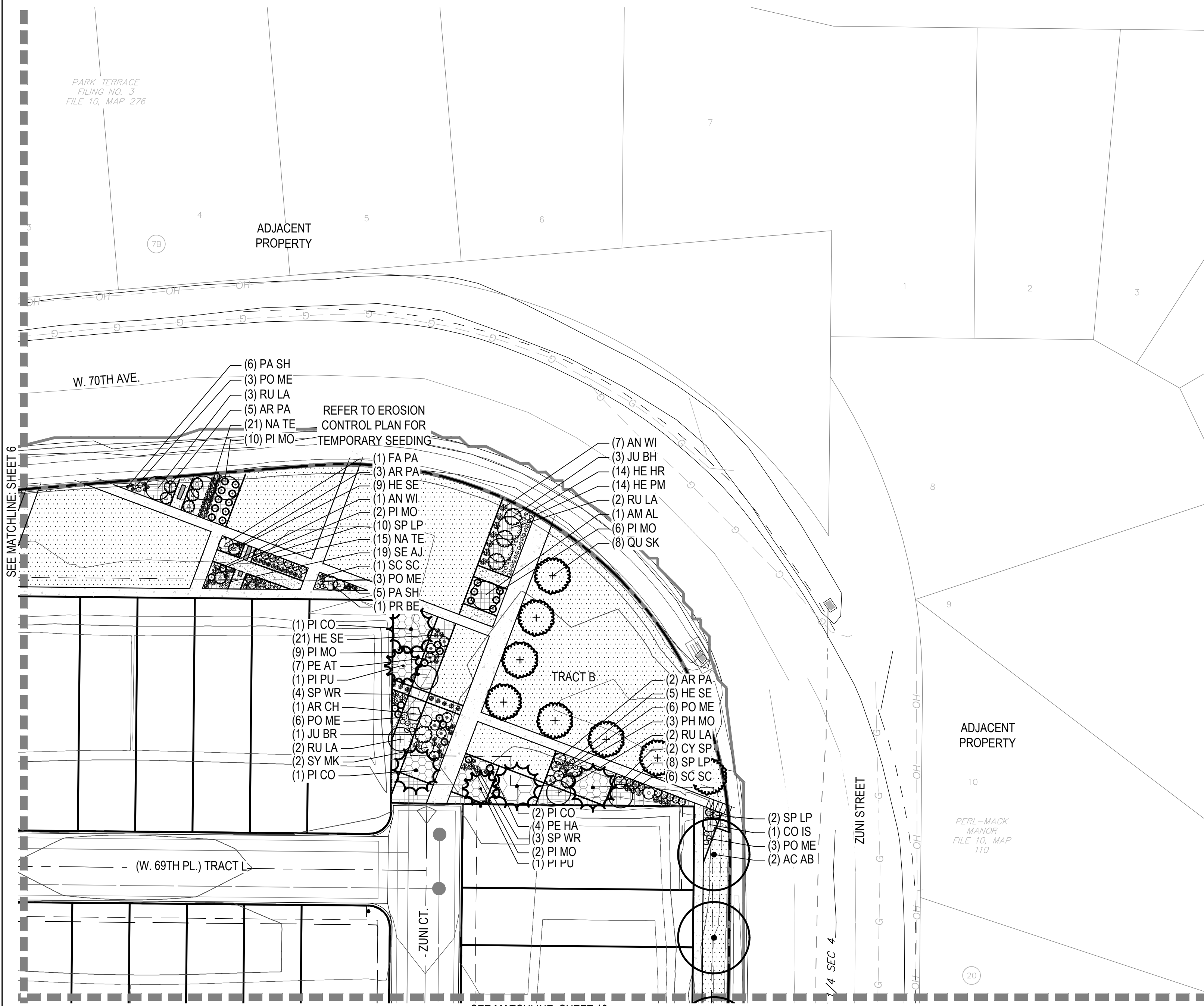
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MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
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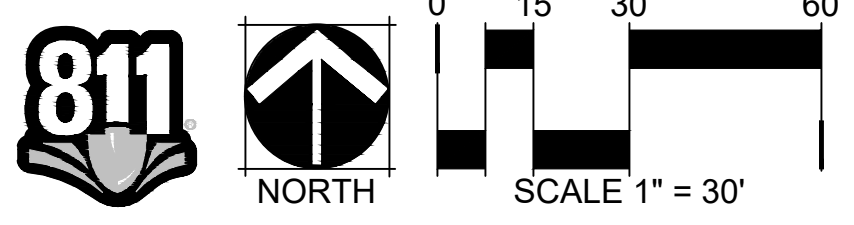
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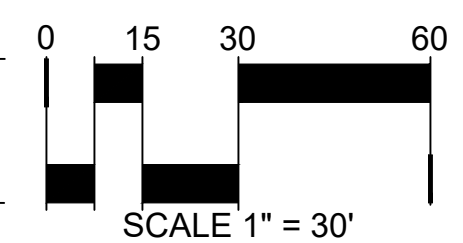
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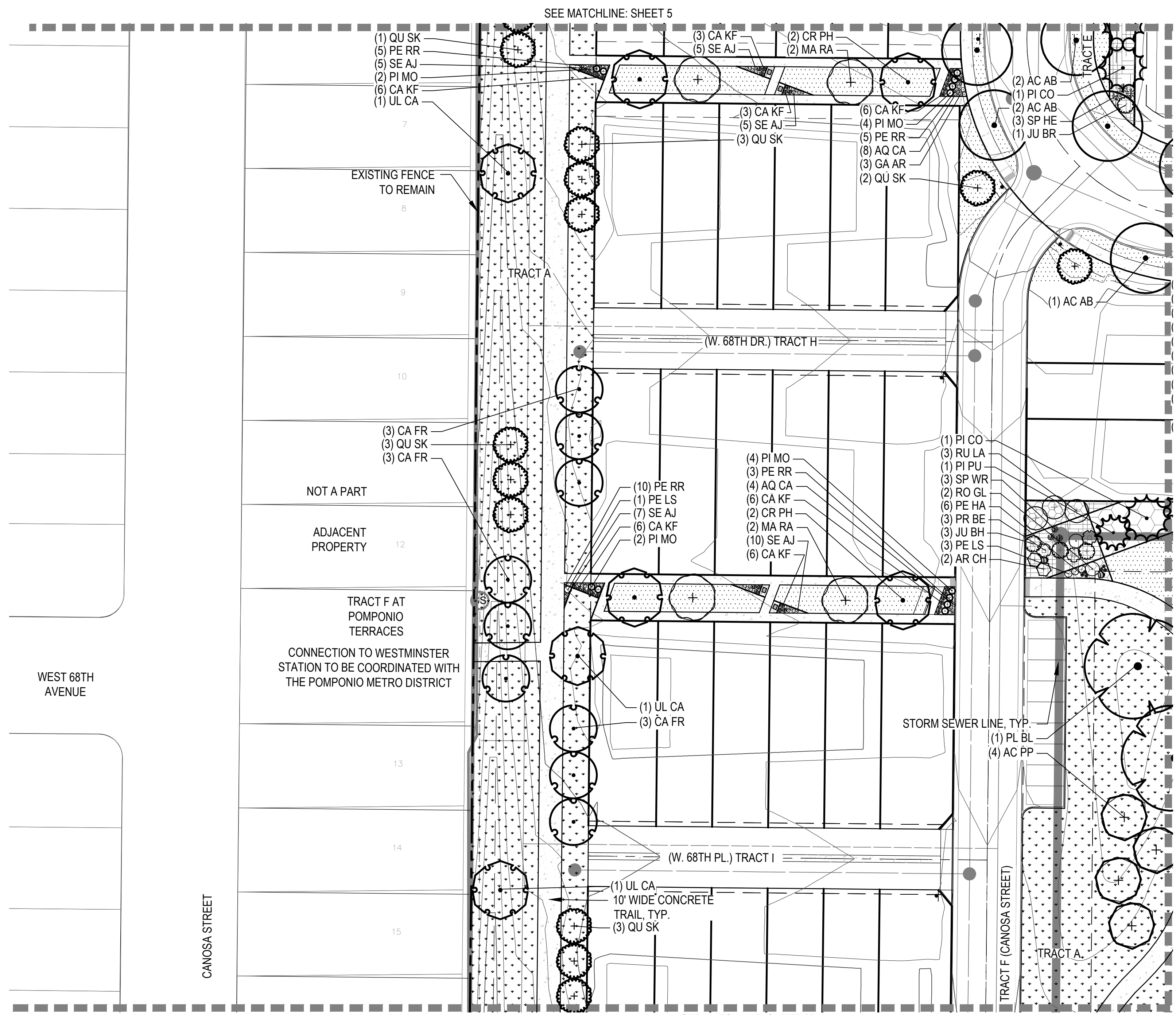
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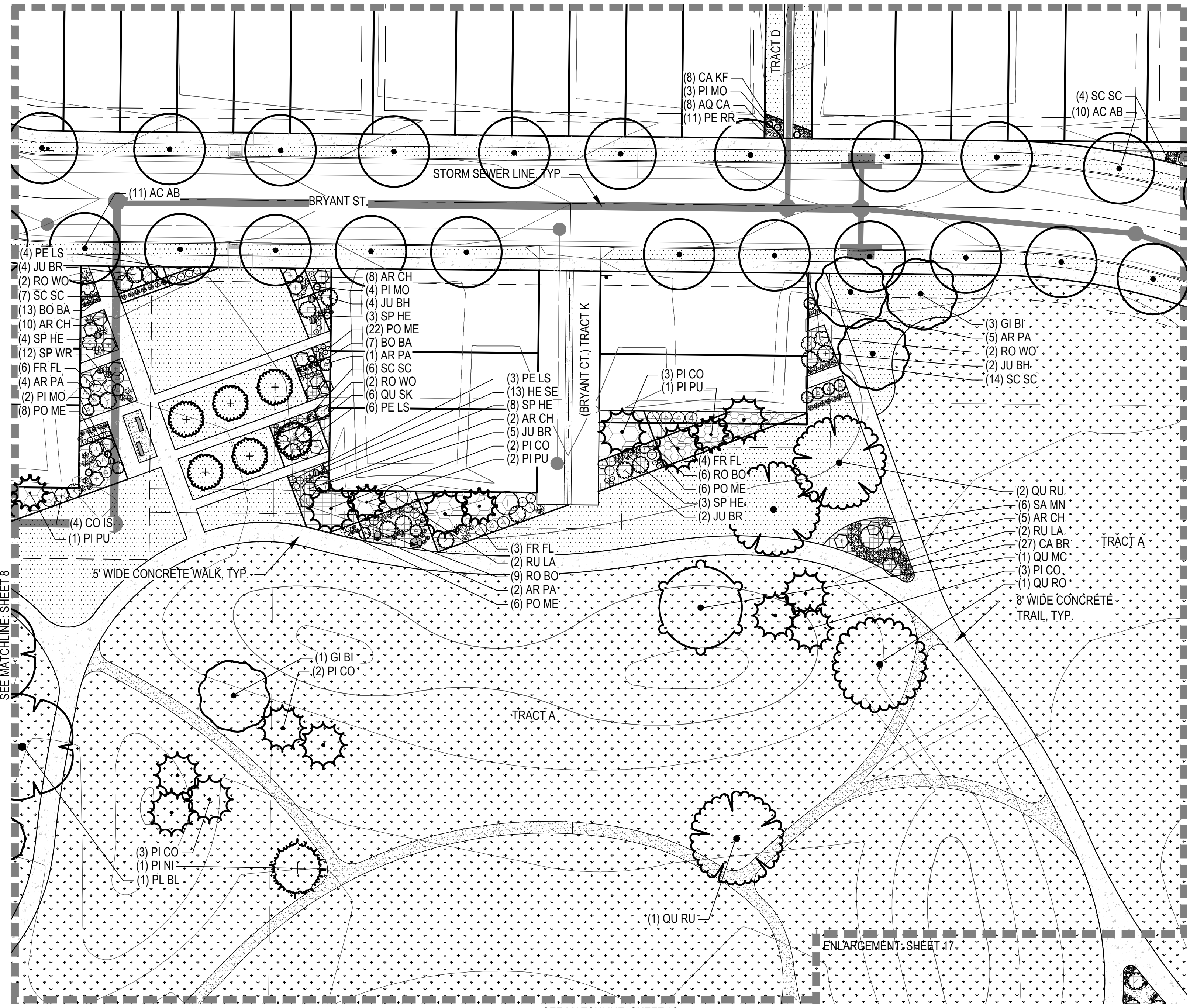
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SEE MATCHLINE: SHEET 6



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Sheet Title

LANDSCAPE PLAN

Sheet Number

9 OF 32

Brookfield Properties

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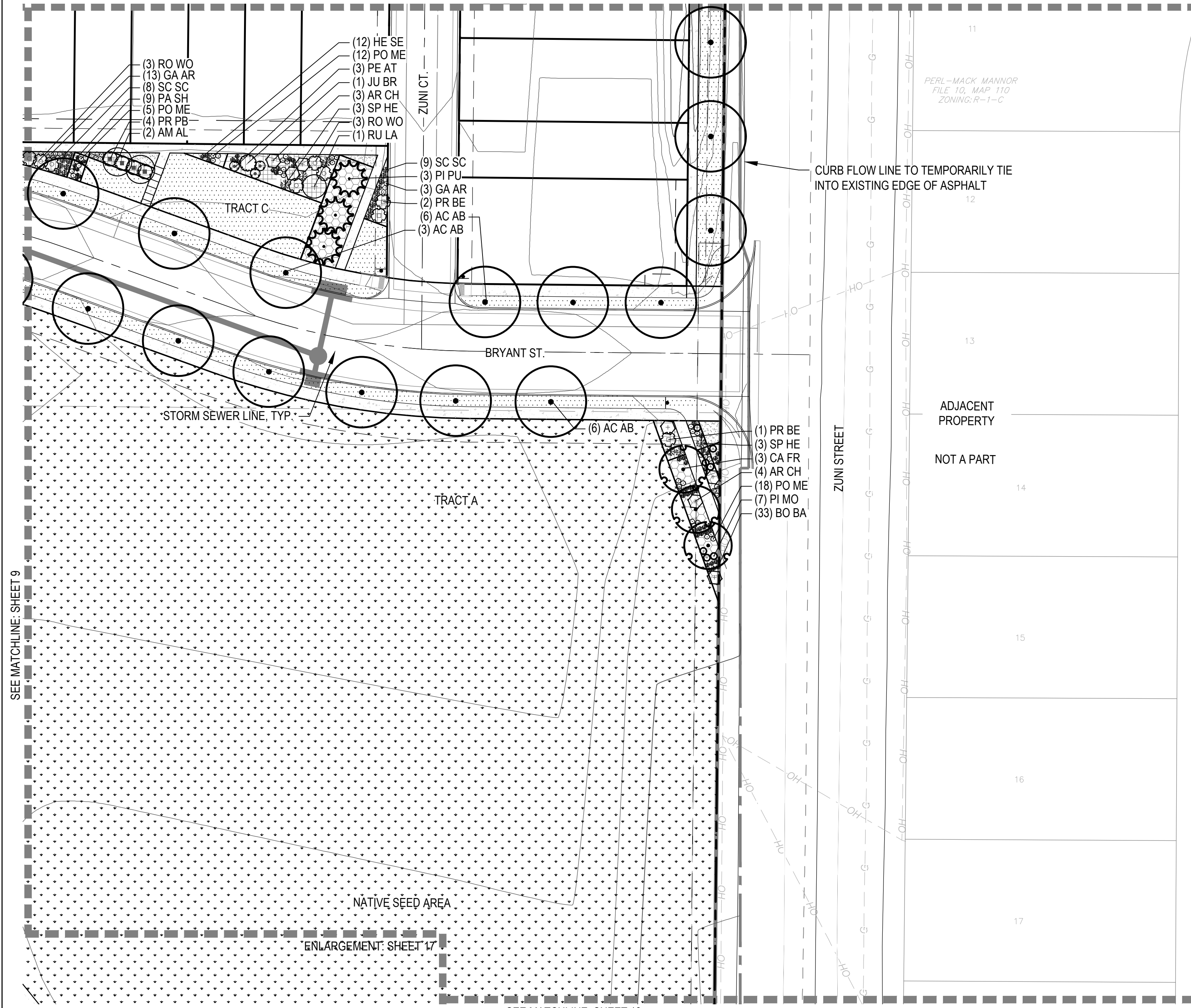
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SCALE 1" = 30'

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SEE MATCHLINE: SHEET 7



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LANDSCAPE PLAN

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10 OF 32

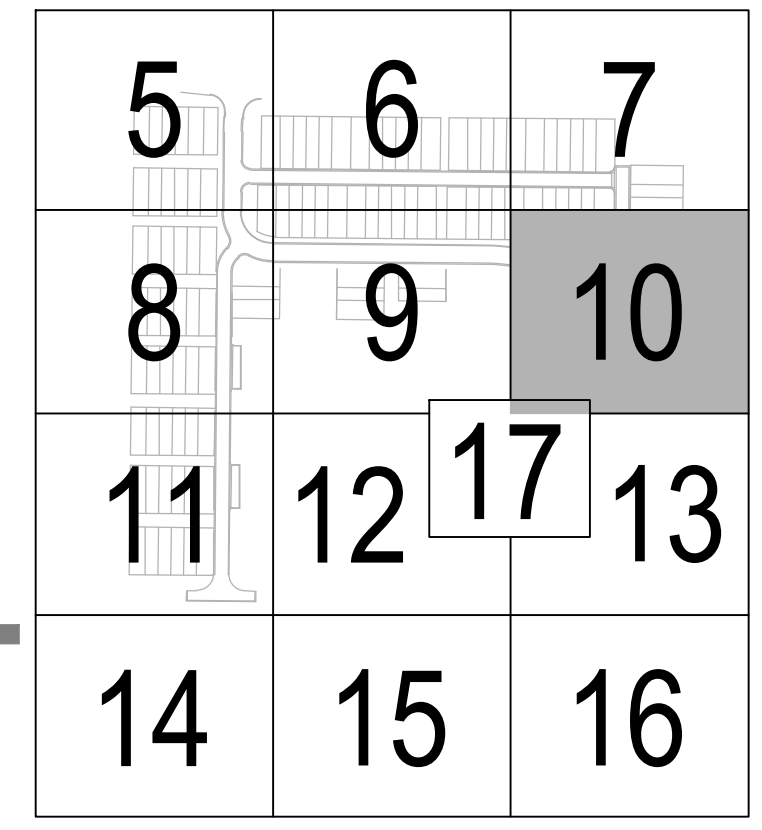
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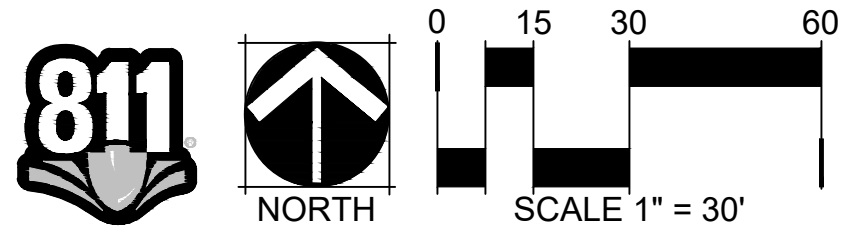
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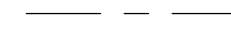
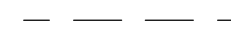


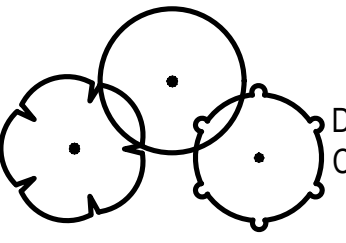
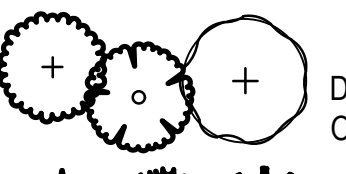
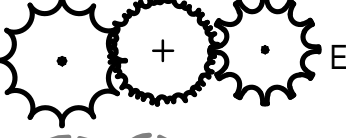
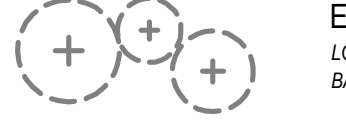




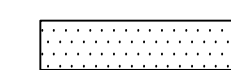
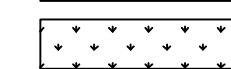
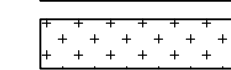

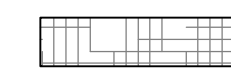
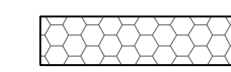
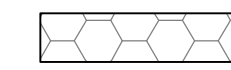





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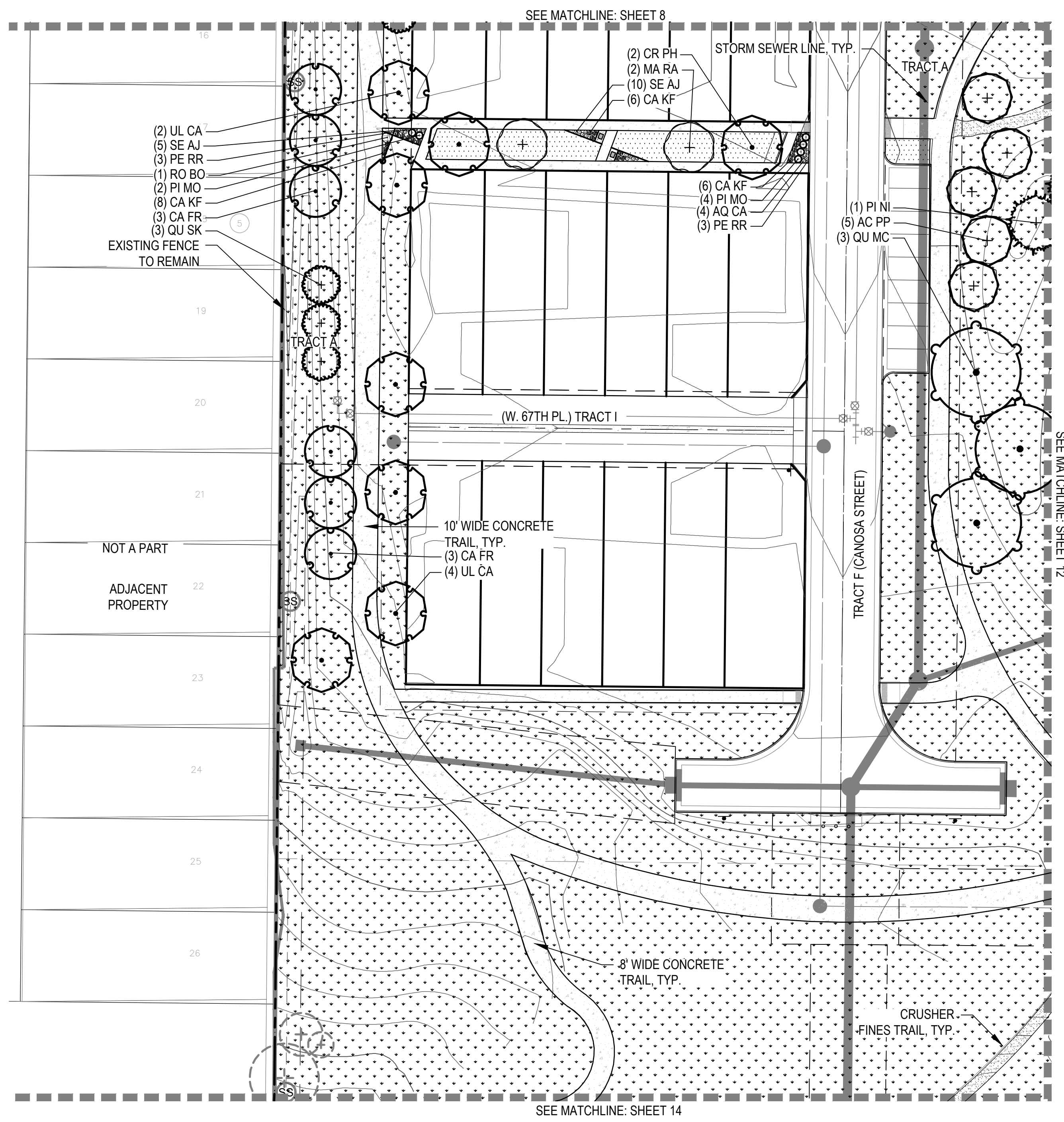
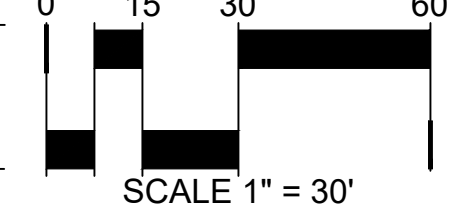
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FILENAME: PLAN-MIDTOWN_FILING12 FDP-LAND

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

LEGEND

-  MATCH LINE
-  PROPERTY LINE
-  LIMIT OF WORK
-  ROAD CENTERLINE
-  EASEMENT
-  STORM SEWER
-  SANITARY SEWER
-  WATER LINE
-  DECIDUOUS CANOPY TREE
-  DECIDUOUS ORNAMENTAL TREE
-  EVERGREEN TREE
-  EXISTING TREES
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-  ORNAMENTAL GRASSES
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-  WILDFLOWER NATIVE SEED
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-  .75" BLACK GRANITE
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-  2.5-3" BLACK GRANITE
ROCK MULCH
-  SANDSTONE SLAB
-  DOG PICK-UP STATION
-  STREET LIGHT, TYP.

5	6	7
8	9	10
11	12	17
13	14	15
16		



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- STREET LIGHT, TYP.

SEE MATCHLINE: SHEET 12

5	6	7
8	9	10
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14	15	16

SEE MATCHLINE: SHEET 9

(1) QU RU

(1) PI NI

TRACT A

- (2) PO AC
- (5) CH NN
- (1) CH AL
- (4) CE IN
- (3) RO GL

(1) PL BL

ENCARGEMENT: SHEET 17

8' WIDE CONCRÉTÉ TRAIL, TYP.

FITNESS STAIRS

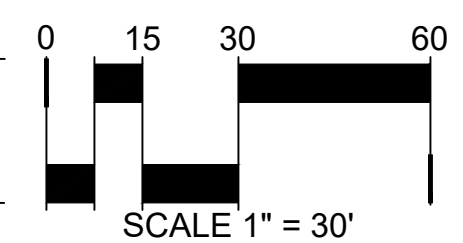
(2) QU MC

30.0' UTILITY EASEMENT

SEE MATCHLINE: SHEET 15

SEE MATCHLINE: SHEET 11

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DRAWN BY: JP, JK
FILENAME: PLAN-MIDTOWN_FILING12 FDP-LAND



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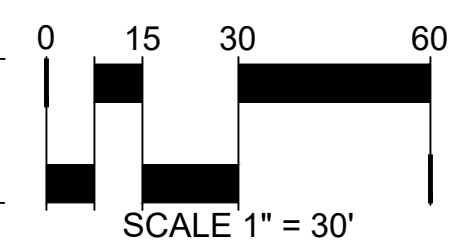
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- STREET LIGHT, TYP.

5	6	7
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SEE MATCHLINE: SHEET 10

SEE MATCHLINE: SHEET 16

ENLARGEMENT: SHEET 17

30.0' UTILITY EASEMENT

FIELD GRAPHICS SHOWN FOR SCALE REFERENCE ONLY

NATIVE SEED AREA

TRACT A

ADJACENT PROPERTY

NOT A PART

W. 68TH AVE.

ZUNI STREET

- (4) AC AB
- (6) PE LS
- (3) AR PA
- (6) NA TE
- (5) SP HE
- (1) PR BE
- (3) PR RP
- (3) AR CH
- (5) SP HE
- (4) PR BE
- (3) HO DU
- (2) PI MO
- (3) FR FL
- (6) CA KF
- (13) PE LS
- (1) AR PA
- (5) SY OR
- (1) CY SP
- (4) AC AB
- (7) AR CH
- (29) NA TE

PROPOSED PARK TO SCHOOL WALK CONNECTION AND GATE LOCATION

EXISTING FENCE TO REMAIN

TRAILSIDE ELEMENTARY

PLAYFIELD





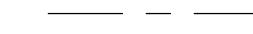



- (1) PL BL
- (3) CE OC

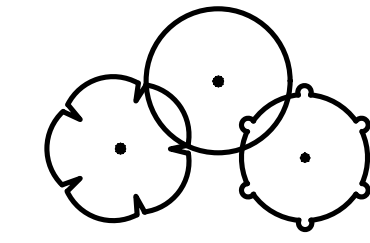
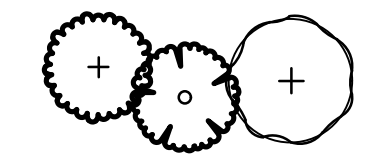
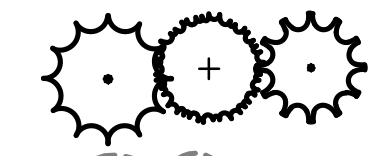





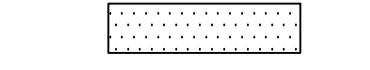
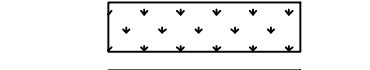
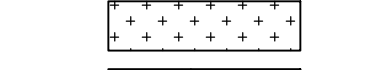
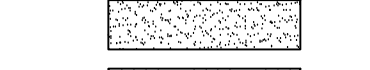


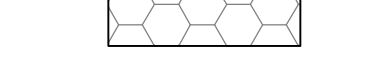
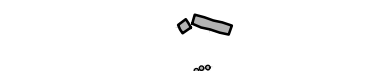
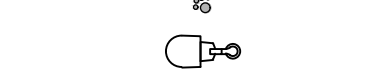

SEE MATCHLINE: SHEET 12

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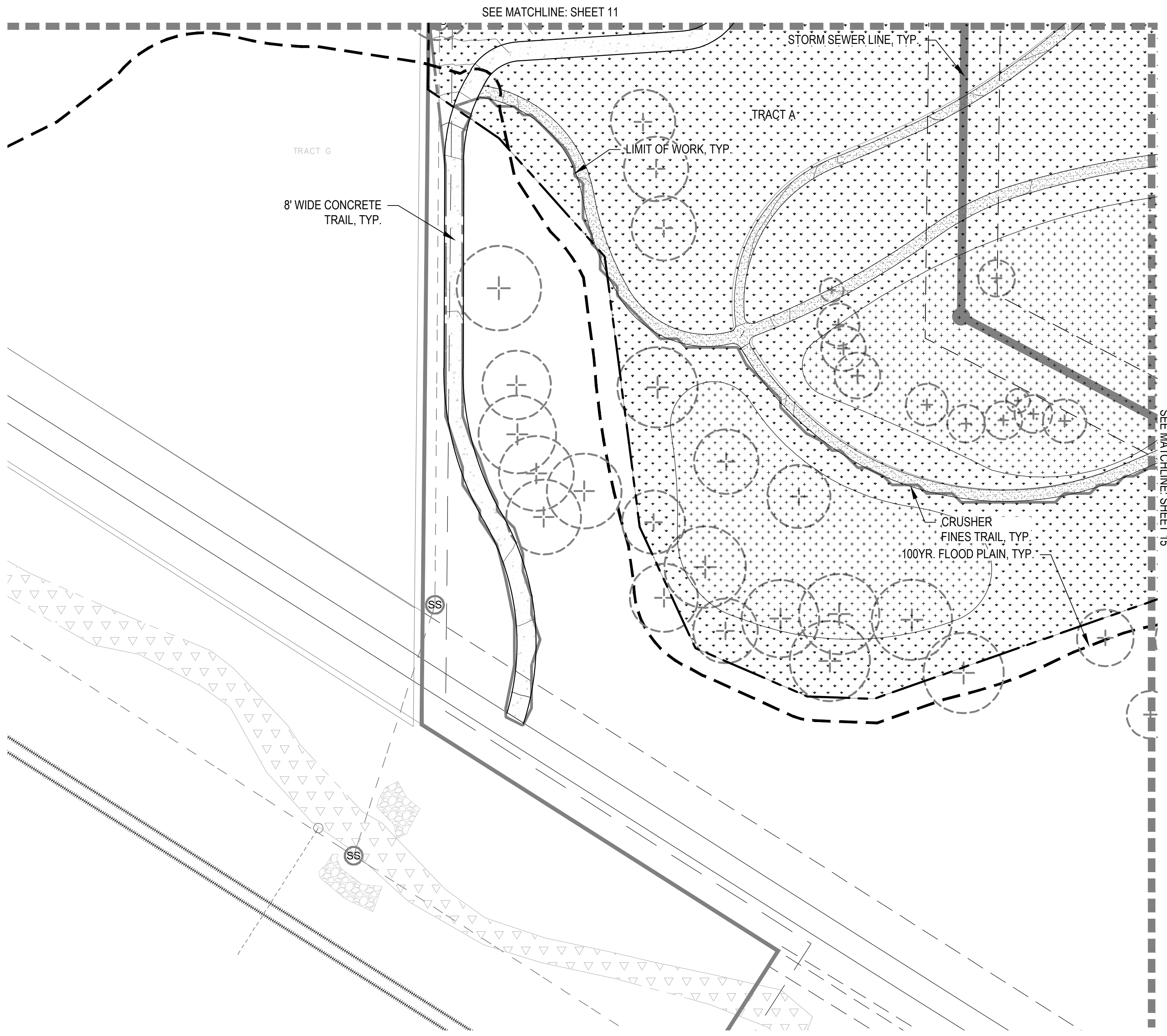
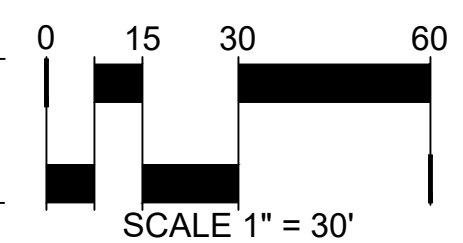
MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

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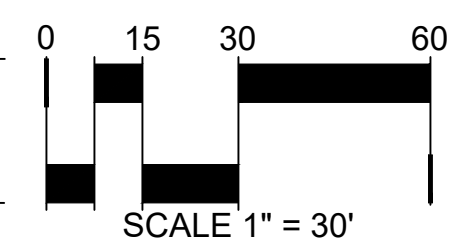


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SEE MATCHLINE: SHEET 12

SEE MATCHLINE: SHEET 16

SEE MATCHLINE: SHEET 14

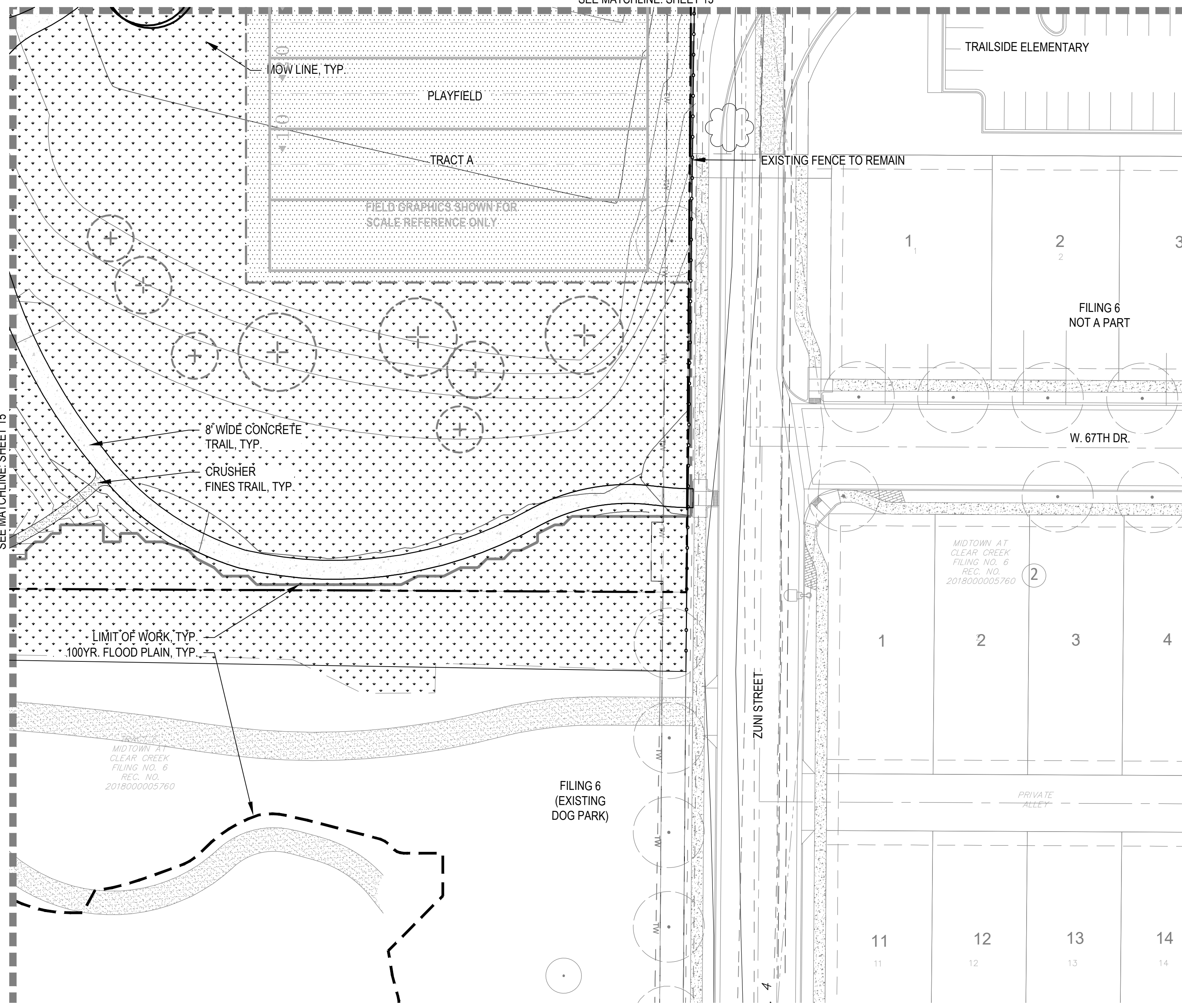
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TRACT G
MIDTOWN AT
CLEAR CREEK
FILING NO. 6
REC. NO.
2018000005760



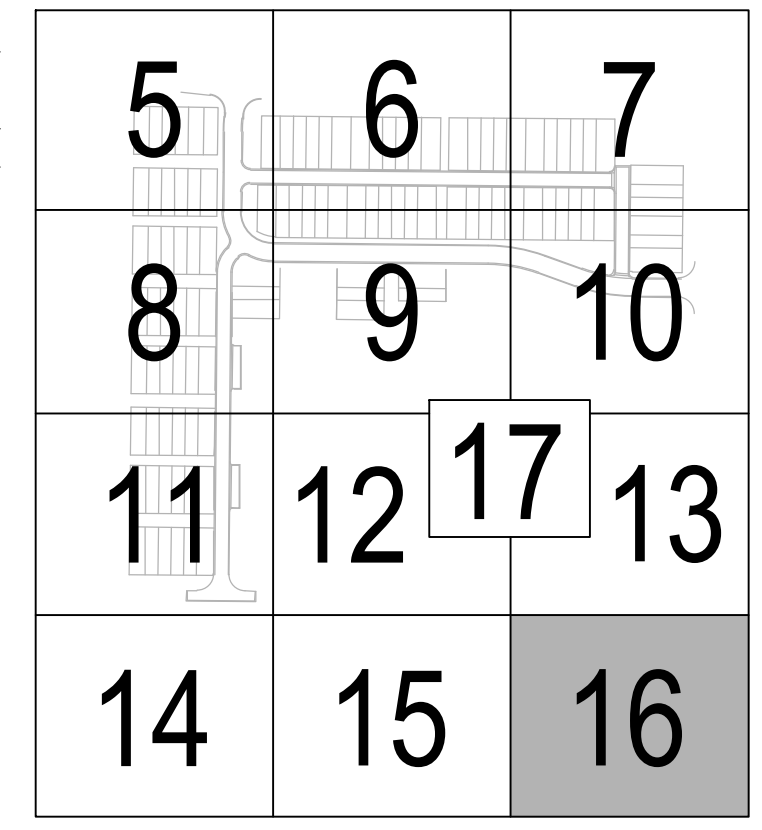
SEE MATCHLINE: SHEET 13

SEE MATCHLINE: SHEET 15



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Sheet Title

LANDSCAPE PLAN

Sheet Number

16 OF 32

Brookfield Properties

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

Redland
WHERE GREAT PLACES BEGIN

NORRIS DESIGN
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MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

Issue Date

04 / 15 / 2020

Revision Date

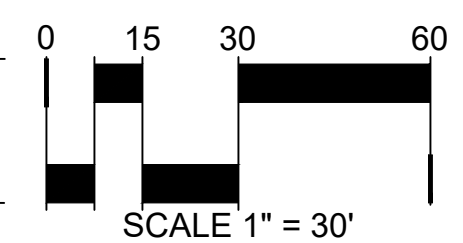
04 / 25 / 2022

10 / 14 / 2022

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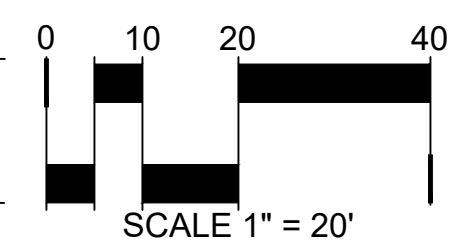
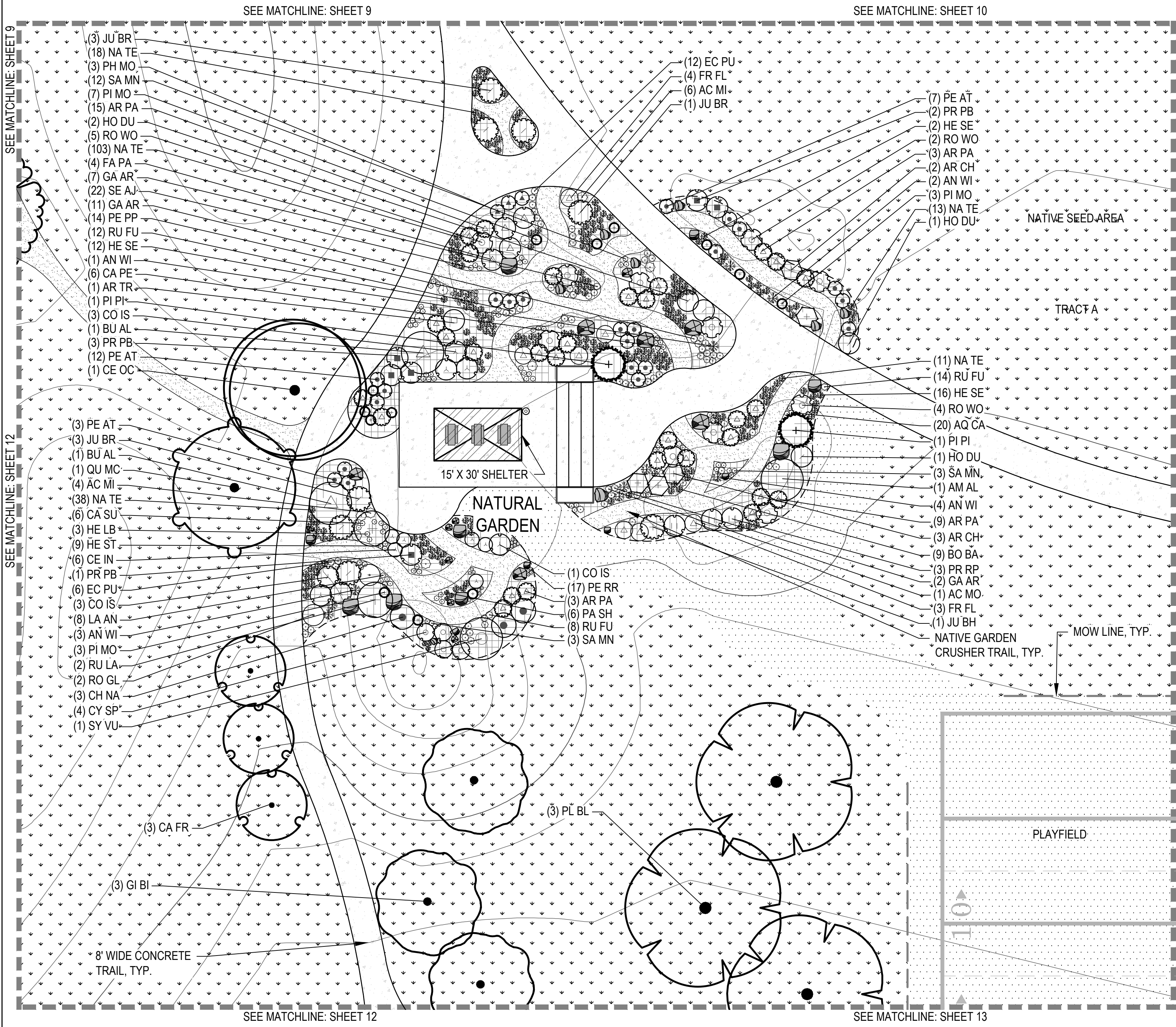
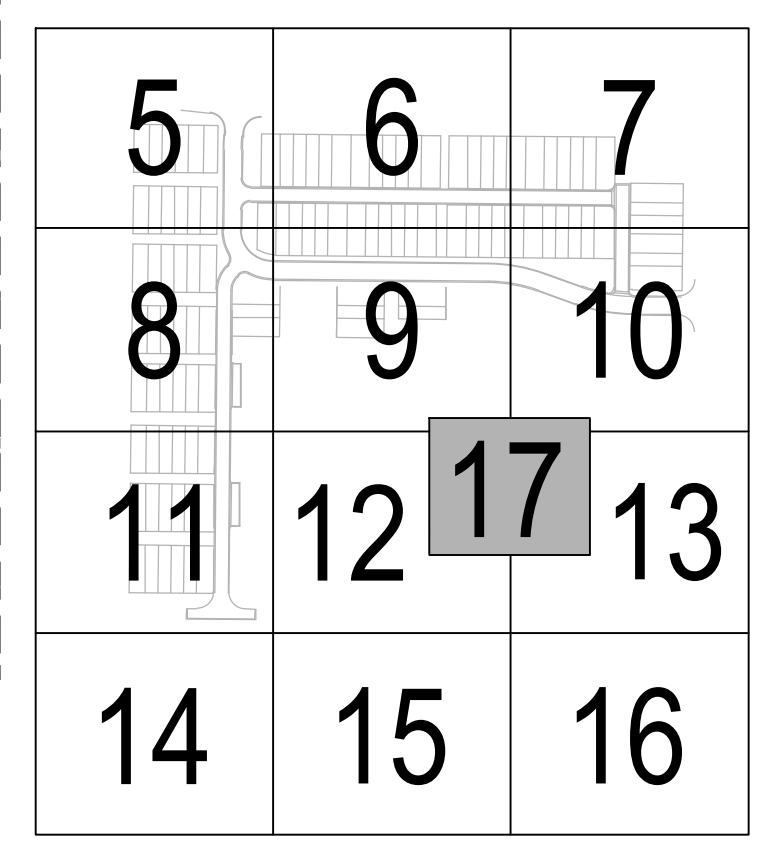
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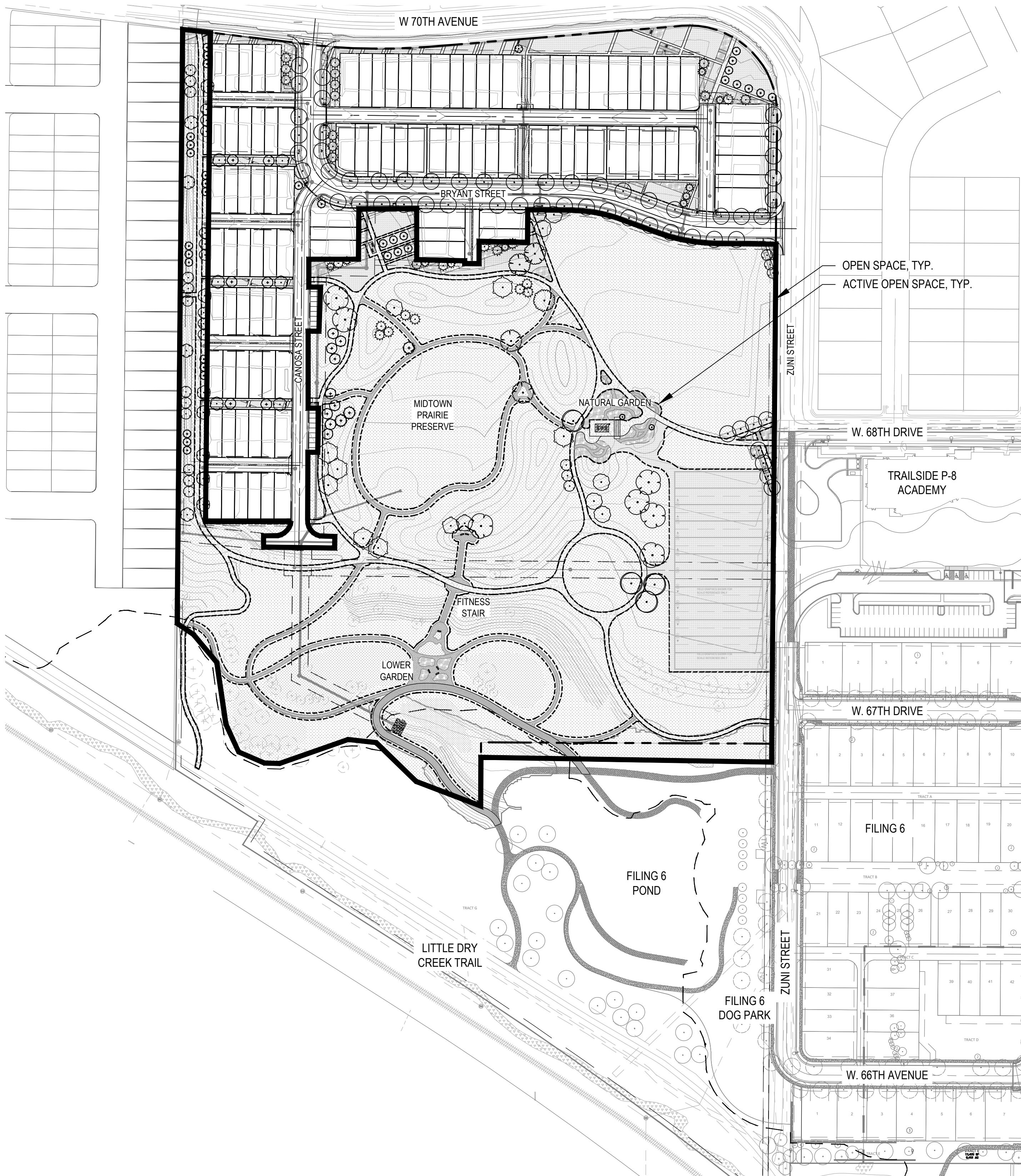
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OPEN SPACE - 25.7 ACRES | 1,119,706 SQFT

A NATURALISTIC, PRAIRIE-INSPIRED EXPANSE OF LAND COMPOSES THIS SPRAWLING COMMUNITY PARK. NATIVE SEED WITH INTERSPERSED PLANTING BEDS CREATE A RHYTHM THROUGHOUT THIS VAST SPACE WITH MOMENTS OF COLOR AND HEIGHT. A PARK WITH ROLLING BERMS THAT ALLOWS VISITORS TO LOOK WEST AND TAKE IN THE MOUNTAINS, ENJOYING A REPRIEVE FROM ITS DESIGNED URBAN CONTEXT.

ACTIVE OPEN SPACE - 4.82 ACRES | 210,066 SQFT

A SERIES OF WIDE CONCRETE PATHS, AUXILIARY CONNECTING ROUTES, AND SOFT CRUSHER TRAILS WEAVE THROUGHOUT THE PARK CREATING DIVERSE CIRCULATION OPTIONS SURE TO DELIGHT EVERY VISITOR WHETHER THEY'RE ON A LONG DISTANCE RUN OR A LEISURELY STROLL. THE MORE FITNESS INCLINED COMMUNITY MEMBERS WILL ALSO ENJOY A FITNESS STAIR WITH SEATING NODE AT THE TOP TO TAKE IN THE VIEW. IF TEAM EVENTS ARE MORE THEIR SPEED, A REGULATION SIZE PLAY FIELD IS PROPOSED FOR USE BY ALL, NO MATTER IF ITS KICKING A SOCCER BALL OR PLAYING SOME PICK-UP ULTIMATE FRISBEE. FOR THE NATURE LOVER, A LARGER NATURAL GARDEN PUNCTUATES THE VIEW FROM W. 68TH DRIVE COMPLETE WITH A SHADE STRUCTURE, WHILE THE SOUTHERN PORTION OF THE SITE FEATURES A WILDFLOWER MEADOW WITH SEATING NODES. THE CENTRAL CRUSHER LAP IS ALSO DESIGNED TO RECREATE A NATIVE SHORT GRASS PRAIRIE STEPPE ENVIRONMENT, GIVING ALL WHO VISIT A PEAK AT WHAT ENVIRONMENT HISTORICALLY DOMINATED THIS AREA.

OPEN SPACE, TYP.
ACTIVE OPEN SPACE, TYP.

Sheet Title

PARK OVERALL PLAN

Sheet Number

18 OF 32

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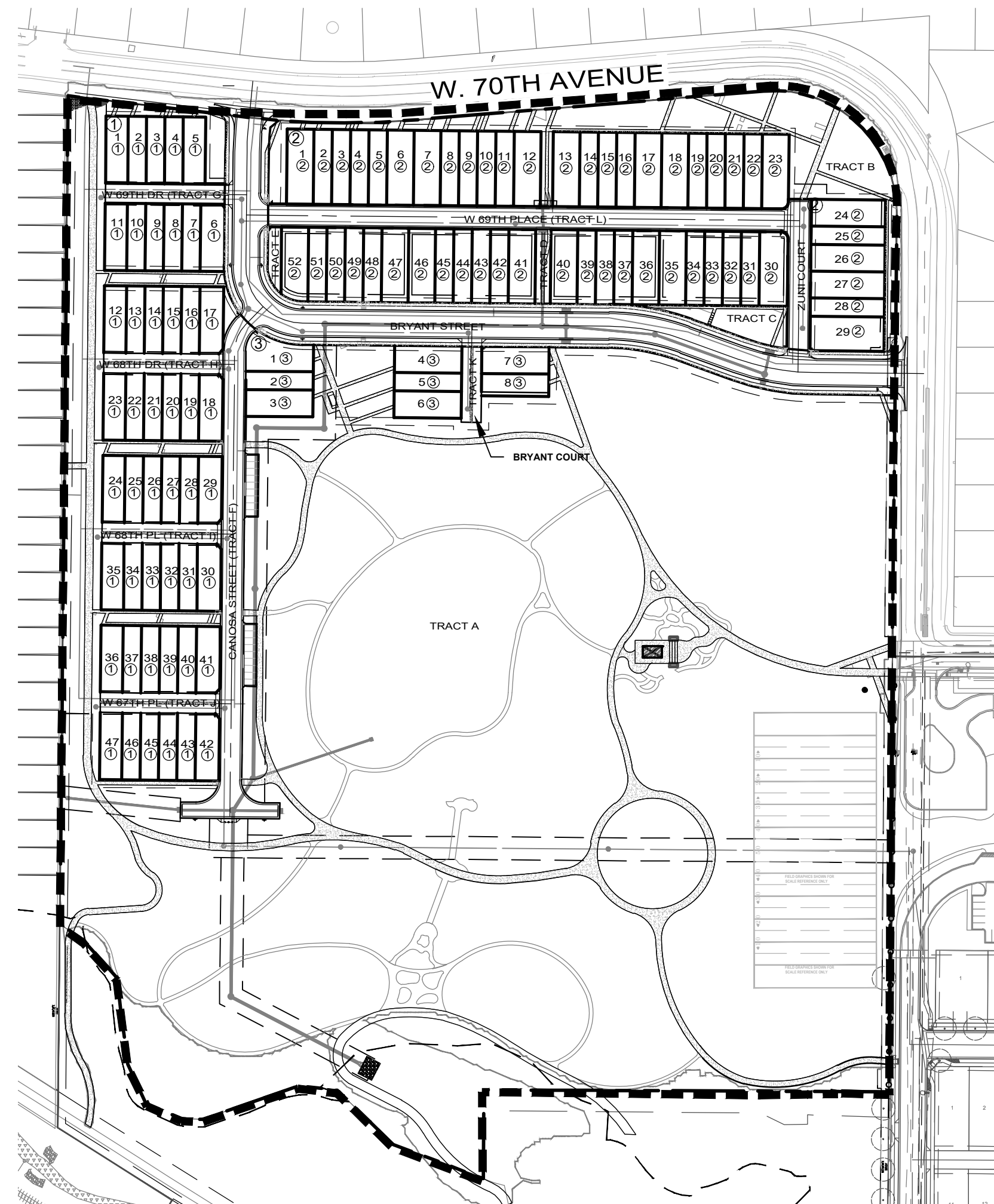


NOT TO SCALE

TRACT & TREE LAWN & TYPICAL LOT - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS

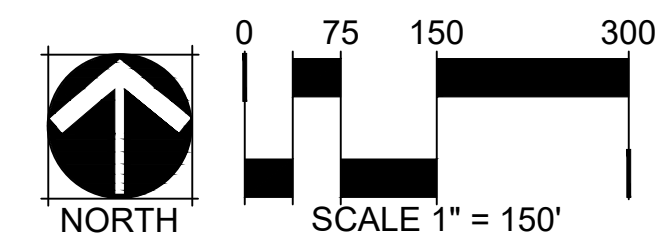
INSTALLATION CHART

	RESPONSIBLE PARTY	
	INSTALLATION	MAINTENANCE
ENTIRE TRACTS:		
A	BUILDER/DEVELOPER	MMD
B	BUILDER/DEVELOPER	MMD
C	BUILDER/DEVELOPER	MMD
D	BUILDER/DEVELOPER	MMD
E	BUILDER/DEVELOPER	MMD
F	BUILDER/DEVELOPER	MMD
G	BUILDER/DEVELOPER	MMD
H	BUILDER/DEVELOPER	MMD
J	BUILDER/DEVELOPER	MMD
K	BUILDER/DEVELOPER	MMD
L	BUILDER/DEVELOPER	MMD
TREE LAWNS ADJACENT TO:		
TRACT:		
A	BUILDER/DEVELOPER	MMD
B	BUILDER/DEVELOPER	MMD
C	BUILDER/DEVELOPER	MMD
D	BUILDER/DEVELOPER	MMD
E	BUILDER/DEVELOPER	MMD
BLOCK 3:		
1	BUILDER/DEVELOPER	MMD
4	BUILDER/DEVELOPER	MMD
7	BUILDER/DEVELOPER	MMD
BLOCK 2:		
37	BUILDER/DEVELOPER	MMD
38	BUILDER/DEVELOPER	MMD
39	BUILDER/DEVELOPER	MMD
40	BUILDER/DEVELOPER	MMD
41	BUILDER/DEVELOPER	MMD
42	BUILDER/DEVELOPER	MMD
43	BUILDER/DEVELOPER	MMD
44	BUILDER/DEVELOPER	MMD
45	BUILDER/DEVELOPER	MMD
46	BUILDER/DEVELOPER	MMD
47	BUILDER/DEVELOPER	MMD
48	BUILDER/DEVELOPER	MMD
49	BUILDER/DEVELOPER	MMD
50	BUILDER/DEVELOPER	MMD
51	BUILDER/DEVELOPER	MMD
52	BUILDER/DEVELOPER	MMD



LANDSCAPE INSTALLATION AND MAINTENANCE NOTES:

- REFER TO THE INSTALLATION AND MAINTENANCE CHART AND DIAGRAMS ON THIS SHEET AND FOR A REPRESENTATION OF COMMON AREA INSTALLATION AND MAINTENANCE RESPONSIBILITIES.
- TREE LAWNS ARE LOCATED BETWEEN SIDEWALKS AND ROADWAYS, GENERALLY WITHIN THE RIGHT-OF-WAY. THE CHART AND DIAGRAMS ON THIS SHEET WILL SPECIFY THE PARTIES RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TREE LAWNS. IN MANY CASES, ONE PARTY MAY BE REQUIRED TO INSTALL THE TREE LAWN (E.G. THE HOMEBUILDER) BUT MAINTENANCE WILL BE PERFORMED BY ANOTHER PARTY (E.G. THE MMD).
- OTHER COMMON AREA LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS ARE ALSO SHOWN ON THE CHART LOCATED ON THIS SHEET.
- THE INSTALLATION OF LANDSCAPING, REGARDLESS OF RESPONSIBLE PARTY OR LOCATION, INCLUDES, AT A MINIMUM, THE COST AND EFFORT TO PROVIDE FOR ALL OF THE FOLLOWING: IRRIGATION WATER TAPS, PLANT MATERIAL, GROUND COVER, OTHER LANDSCAPING ELEMENTS, AND IRRIGATION INSTALLATION AS CALLED FOR ON THE PLANS.
- ONCE THE LANDSCAPING IS INSTALLED AND COMPLETED, THE MMD WILL REVIEW THE INSTALLATION FOR COMPLETENESS. IF APPROVED, THE DISTRICT WILL THEN ACCEPT THE IMPROVEMENTS AND BEGIN THE PROCESS OF MAINTAINING THE LANDSCAPE FOR THE AREAS SPECIFIED ON THIS SHEET. MAINTENANCE OF OTHER COMPLETED LANDSCAPE AREAS WILL BECOME THE RESPONSIBILITY OF THE PARTIES IDENTIFIED ON THIS SHEET.
- IF THE MMD DETERMINES THAT THE LANDSCAPE WAS NOT CORRECTLY INSTALLED, THE RESPONSIBILITY FOR ENSURING THAT THE LANDSCAPE IS CORRECTED FALLS TO THE PARTY RESPONSIBLE FOR INSTALLATION, AS SHOWN IN THE INSTALLATION CHART ON THIS SHEET.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED. WARRANTY WORK AND REPAIRS SHALL BE COMPLETED BY THE CONTRACTOR BEFORE THE MMD ACCEPTS RESPONSIBILITY.
- MAINTAINING LANDSCAPES INCLUDES THE MOWING OF TURF AREAS, PRUNING TREES AND SHRUBS, WEED CONTROL, AND OTHER MAINTENANCE TASKS.
- REFER TO THE SIA FOR FURTHER INFORMATION AND A VISUAL DEPICTION OF THE AREAS IDENTIFIED ABOVE.



Sheet Title

LANDSCAPE
INSTALLATION &
MAINTENANCE

Sheet Number

19 OF 32

Brookfield
Properties

6465 S. Greenwood Plaza Blvd., Suite 700
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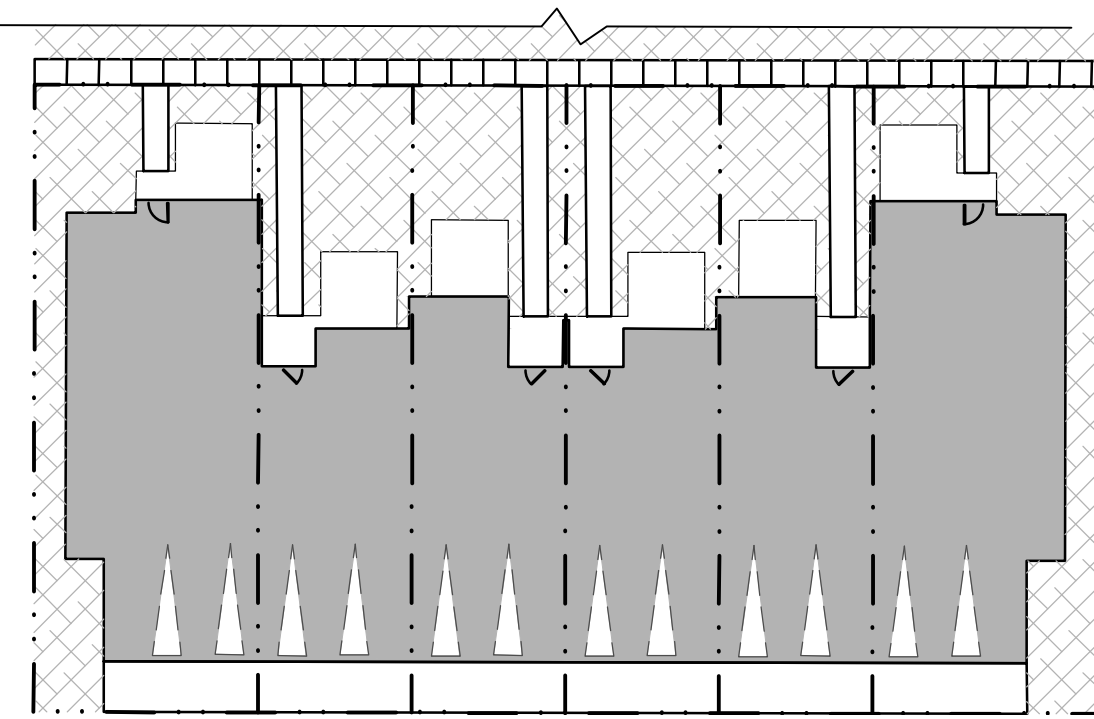
11 / 23 / 2022

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CONSTRUCTION

REAR-LOADED TOWNHOME LOT TYPICAL - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS

N.T.S.

REAR-LOADED TOWNHOME CONDITION



LEGEND

	PROPERTY LINE
	LANDSCAPE TO BE INSTALLED BY BUILDER AND MAINTAINED BY CCSMD

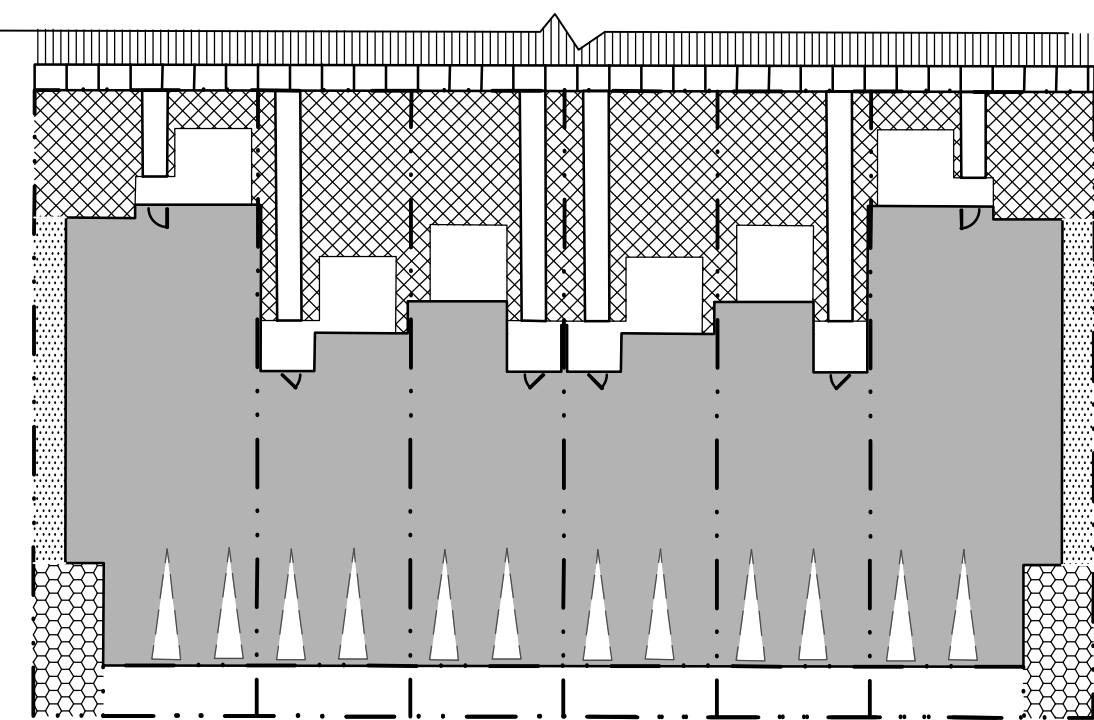
TYPICAL REAR-LOADED TOWNHOME

TYPICAL LOT - LANDSCAPE AREA DEFINITIONS

N.T.S.

LANDSCAPE INSTALLED BY BUILDER

REAR-LOADED TOWNHOME CONDITION



LEGEND

	PROPERTY LINE
	FRONT YARD
	SIDE YARD
	ALLEY
	TREE LAWN OR TRACT

GENERAL NOTES:
1. LANDSCAPE ADJACENT TO TOWNHOMES SHALL BE MAINTAINED BY CCSMD.

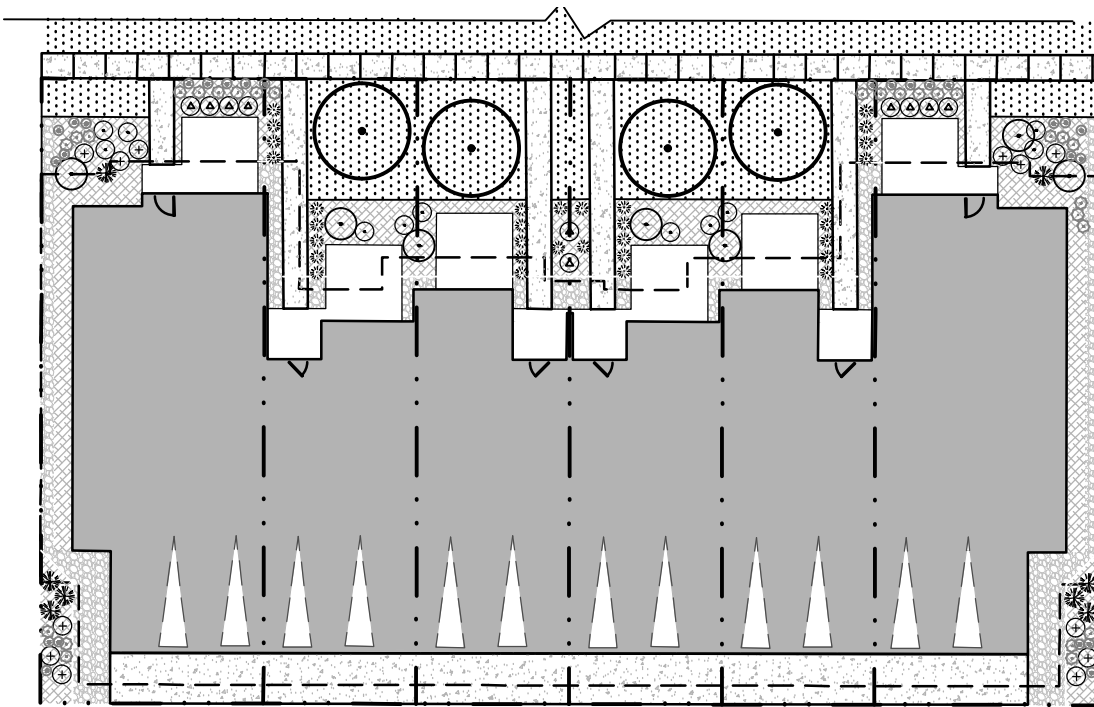
TYPICAL REAR-LOADED TOWNHOME

LANDSCAPE TYPICALS

N.T.S.

LANDSCAPE INSTALLED BY BUILDER

REAR-LOADED TOWNHOME CONDITION



LEGEND

	PROPERTY LINE
	NO IRRIGATION LINE
	EDGER LINE
	SOD
	COBBLE
	LANDSCAPE MULCH
	DECIDUOUS ORNAMENTAL TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	UPRIGHT EVERGREEN
	ORNAMENTAL GRASS
	PERENNIAL

TYPICAL REAR-LOADED TOWNHOME

NOTES:

1. PLANT MATERIAL IS INSTALLED BY BUILDER AND MAINTAINED BY THE MMD.
2. LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

REAR-LOADED TOWNHOME LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION						
	CORNER LOT			INTERNAL LOT		INTERNAL LOT	
	FRONT/ALLEY	SIDE YARD	BACKYARD	FRONT/ALLEY	BACKYARD	FRONT/ALLEY	BACKYARD
ORNAMENTAL OR EVERGREEN TREE	0	0	NA	1	NA	1	NA
DECIDUOUS / EVERGREEN SHRUBS	11	0	NA	9	NA	4	NA
ORNAMENTAL GRASSES	4	0	NA	2	NA	7	NA
PERENNIALS	27	2	NA	2	NA	0	NA
TURF	6' MIN	NONE	NONE	3' MIN	NONE	3' MIN	NONE

Sheet Title

LANDSCAPE TYPICALS

Sheet Number

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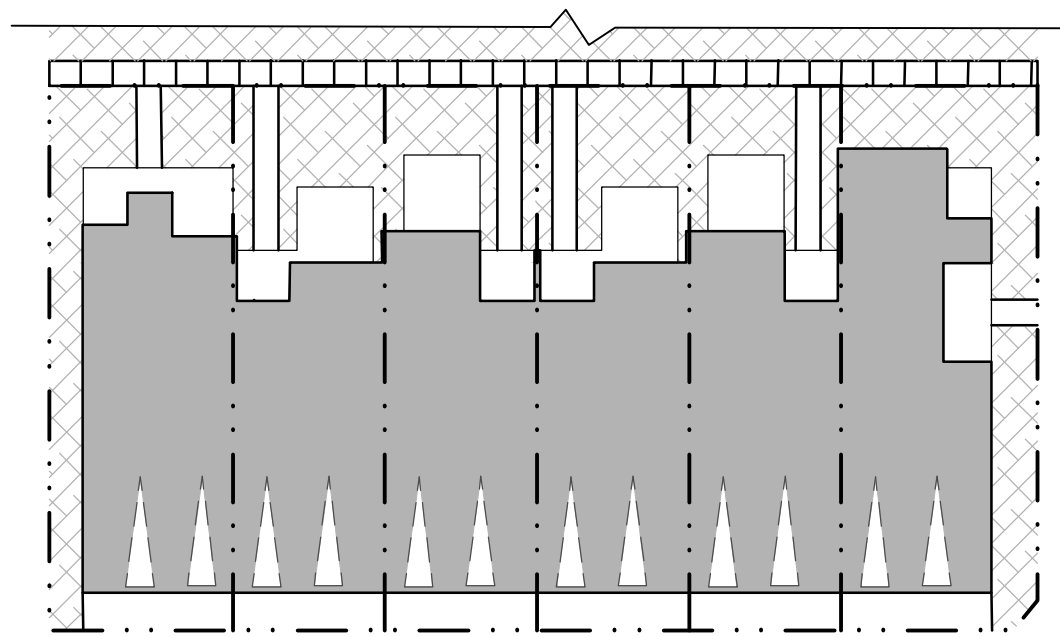
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CHECKED BY: JN, EM
DRAWN BY: IP, JK
FILENAME: PLAN-MIDTOWN_FILING12 FDP-LAND

REAR-LOADED TOWNHOME WITH SIDE ENTRY LOT TYPICAL - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS N.T.S.

REAR-LOADED TOWNHOME CONDITION

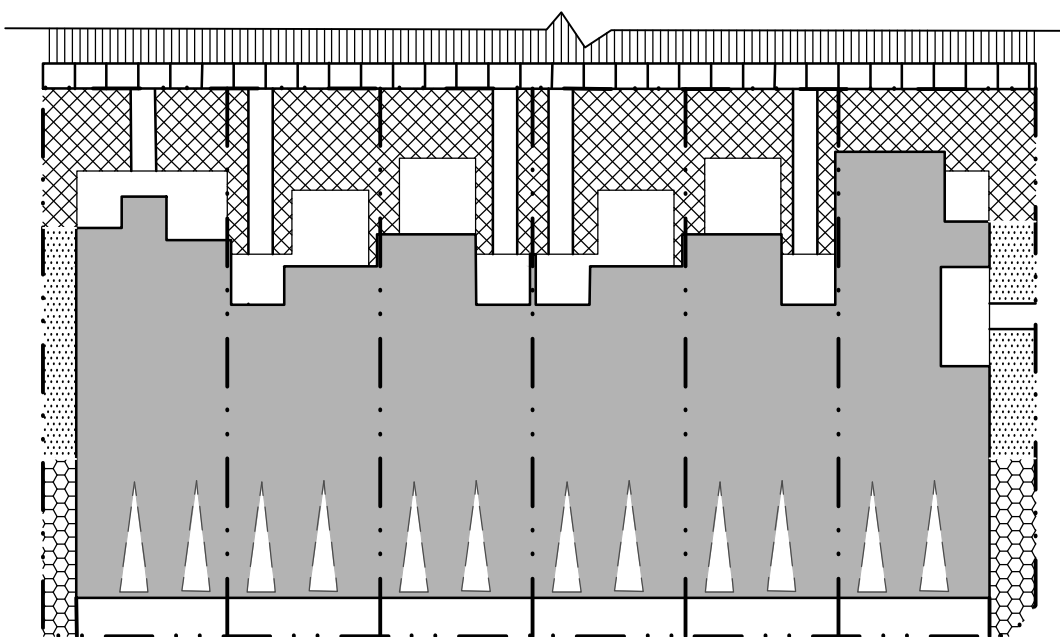


LEGEND

	PROPERTY LINE
	LANDSCAPE TO BE INSTALLED BY BUILDER AND MAINTAINED BY CCSMD

TYPICAL LOT - LANDSCAPE AREA DEFINITIONS N.T.S.

LANDSCAPE INSTALLED BY BUILDER
REAR-LOADED TOWNHOME CONDITION



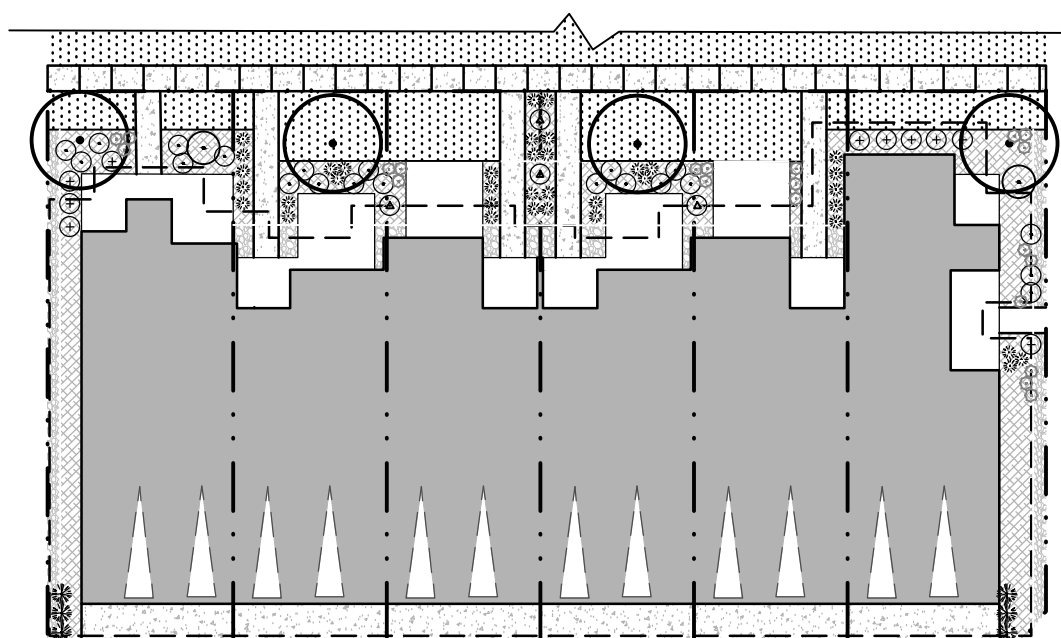
LEGEND

	PROPERTY LINE
	FRONT YARD
	SIDE YARD
	ALLEY
	TREE LAWN OR TRACT

GENERAL NOTES:
1. LANDSCAPE ADJACENT TO TOWNHOMES SHALL BE MAINTAINED BY CCSMD.

LANDSCAPE TYPICALS N.T.S.

LANDSCAPE INSTALLED BY BUILDER
REAR-LOADED TOWNHOME CONDITION



LEGEND

	PROPERTY LINE
	NO IRRIGATION LINE
	EDGER LINE
	SOD
	COBBLE
	LANDSCAPE MULCH
	DECIDUOUS ORNAMENTAL TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	UPRIGHT EVERGREEN
	ORNAMENTAL GRASS
	PERENNIAL

FRONT-LOADED TOWNHOME LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION						
	CORNER LOT			INTERNAL LOT		INTERNAL LOT	
	FRONT/ ALLEY	SIDE YARD	BACKYARD	FRONT/ ALLEY	BACKYARD	FRONT/ ALLEY	BACKYARD
ORNAMENTAL OR EVERGREEN TREE	1	0	BY HOMEOWNER	1	BY HOMEOWNER	1	BY HOMEOWNER
DECIDUOUS / EVERGREEN SHRUBS	8	5		7		2	
ORNAMENTAL GRASSES	0	7		8		9	
PERENNIALS	9	6		2		3	
TURF	6' MIN	NONE		6' MIN		6' MIN	

NOTES:

- ADDITIONAL BACK YARD LANDSCAPE IS TO BE INSTALLED BY HOMEOWNER, AND MAINTAINED BY HOMEOWNER.
- FRONT YARD LANDSCAPE IS TO BE INSTALLED BY HOMEBUILDER, AND MAINTAINED BY MMD.
- LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

Sheet Title

LANDSCAPE TYPICALS

Sheet Number

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ARCHITECTURAL STANDARDS

SETBACK AND HEIGHT RESTRICTIONS CHART

USE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	MAXIMUM LOT COVERAGE	MAXIMUM DENSITY	MINIMUM FRONT YARD SETBACK FOR ALL STRUCTURES ADJACENT TO:		MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE <small>See Note: 8, 10, 11, 12</small>	MINIMUM FRONT YARD SETBACK FOR GARAGE STRUCTURE <small>See Note: 8, 10, 11</small>	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES <small>See Note: 8, 5</small>	MIN. REAR YARD SETBACK FOR PRINCIPAL STRUCTURES EXCLUDING GARAGES <small>See Note: 8</small>	MIN. REAR YARD SETBACK FOR DETACHED ACCESSORY STRUCTURES		MIN. REAR YARD SETBACK TO GARAGE DOOR FACE FOR ALLEY LOAD HOMES	MAXIMUM BUILDING HEIGHT <small>See Note: 7</small>	MAXIMUM ACCESSORY STRUCTURE HEIGHT	
					ARTERIAL	COLLECTOR <small>See Note: 6</small>					13' ALLEY	20' ALLEY				
Single Family Attached Townhome with Rear loaded Garage	1,000 SF	15'	80%	16 DU / ACRE	20'	15'	10'	10'	5' EXTERIOR WALL 0' COMMON WALL	15'	8'	4.5'	8'	4.5'	45'	28'

The proposed setback and height restrictions are duplicated from the Second Amendment to the PDP for the Midtown PUD as applicable to Filing 12.

NOTES:

(References copied from the Second Amendment to the PDP)

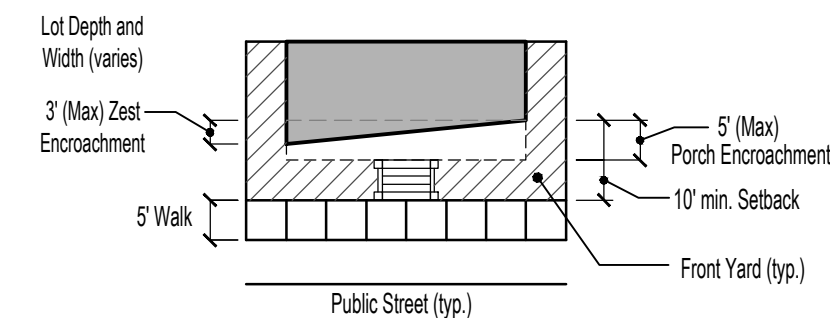
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Setbacks will follow local street standards on West 67th Place.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Bay windows, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.

- Setback measured from right-of-way/property line to the building plane of the livable space, commercial space or other non-garage door side of a building. Side loaded garages and non-livable spaces such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of-way or transportation and utility easements.
- The minimum setback of a side loaded garage is defined from the right-of-way/property line to the street-facing building plane.
- Portions of the foundations and corresponding elevations for fronts of homes designed to achieve the desired "zest" character are permitted to encroach into the front setback area up to 3'. "Zest" character may be achieved by angling portion of the building foundation, projecting a portion of the building foundation or a change in the material in the building facade. (See Zest Encroachment Detail).

GENERAL NOTES:

- All roadways in Filing 12 are 26'-0" & 30'-0" Private Drives providing access for rear loaded townhomes.

ZEST ENCROACHMENT DETAIL

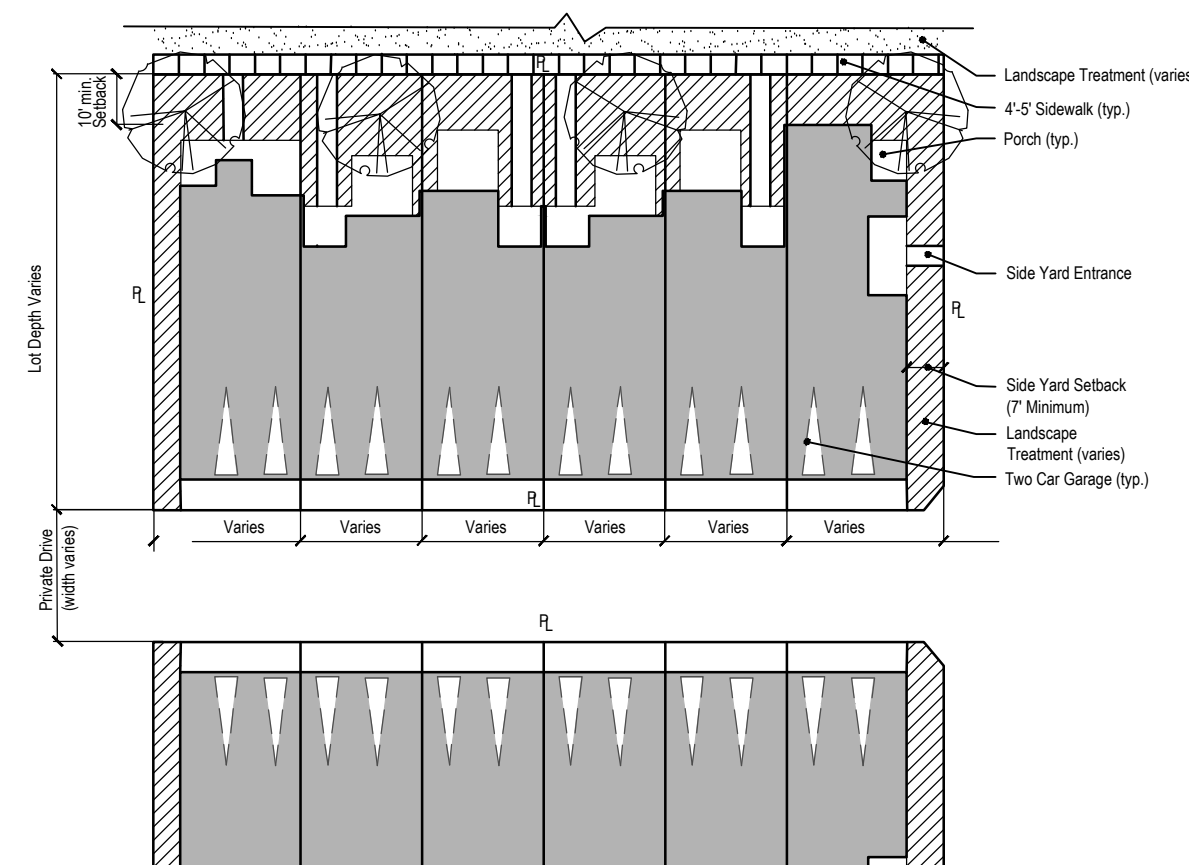
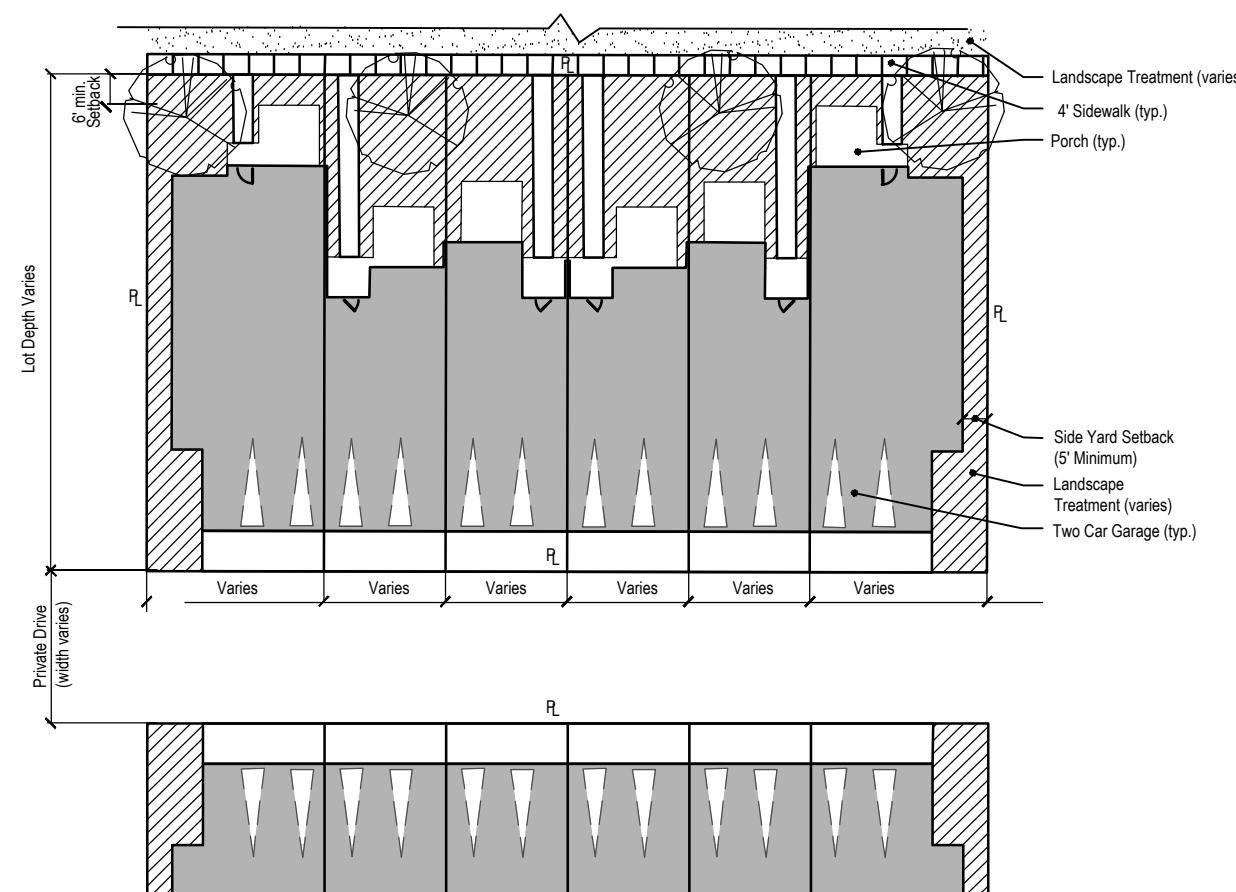


*Zest encroachment may be exhibited in various configurations. Above example is one possible configuration. (See note 12)

MIDTOWN ARCHITECTURE CHARACTER

MIDTOWN WILL PROVIDE A "FRESH ARCHITECTURAL CHARACTER" FOR FRONT RANGE RESIDENTIAL. HARNESSING OUR "FREE-RANGE SPIRIT", THE TRADITIONAL CRAFTSMAN, PRAIRIE AND FARMHOUSE ROOTS, WILL EVOLVE INTO "FRESH STYLE" EXPRESSIONS FOR THE NEW NEIGHBORHOOD. SIMPLE FORMS, RICH COLORS, AND ARTFUL DETAILS WILL COMBINE TO CREATE AFFORDABLE AND DISTINCTIVE HOMES, ADDING "ZEST" TO THE STREET SCENE APPEAL. REFERENCE THE APPROVED SECOND AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN FOR FURTHER INFORMATION. THE FOLLOWING ARE THE PRODUCT TYPES PROPOSED IN THIS FDP. TYPICAL PRODUCT IMAGE AND PLAN VIEW ARE REPRESENTATION OF ARCHITECTURE CHARACTER AND FORM, FINAL ARCHITECTURE MAY VARY. LOT LAYOUT IS CONCEPTUAL AND GARAGE ORIENTATION MAY VARY.

REAR-LOADED TOWNHOME PLAN VIEW



NOT TO SCALE

Elevation A - Farmhouse



Front Elevation

SCALE: 1/8" = 1'-0"



Front Elevation - Opt. Balcony

SCALE: 1/8" = 1'-0"



Rear Elevation

SCALE: 1/8" = 1'-0"

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Elevation A - Farmhouse



Front Elevation - Optional Third Floor

SCALE: 1/8" = 1'-0"



Rear Elevation - Optional Third Floor

SCALE: 1/8" = 1'-0"

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Elevation B - Modern



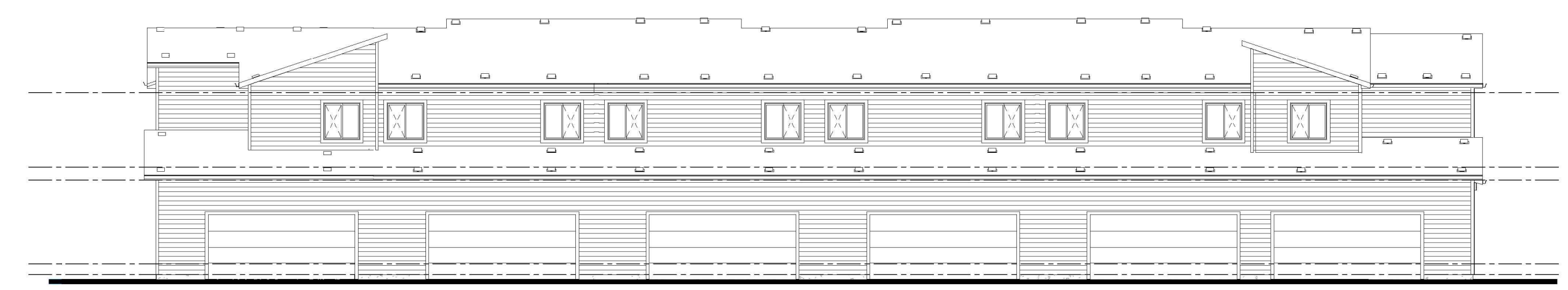
Front Elevation

SCALE: 1/8" = 1'-0"



Front Elevation

SCALE: 1/8" = 1'-0"



Rear Elevation

SCALE: 1/8" = 1'-0"

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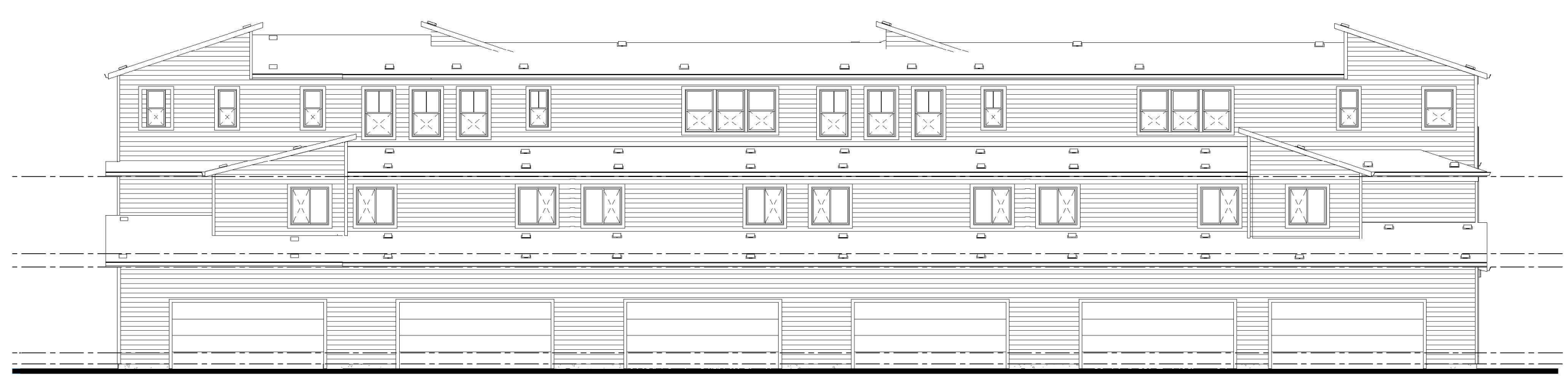
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Elevation B - Modern



Front Elevation - Optional Third Floor

SCALE: 1/8" = 1'-0"



Rear Elevation - Optional Third Floor

SCALE: 1/8" = 1'-0"

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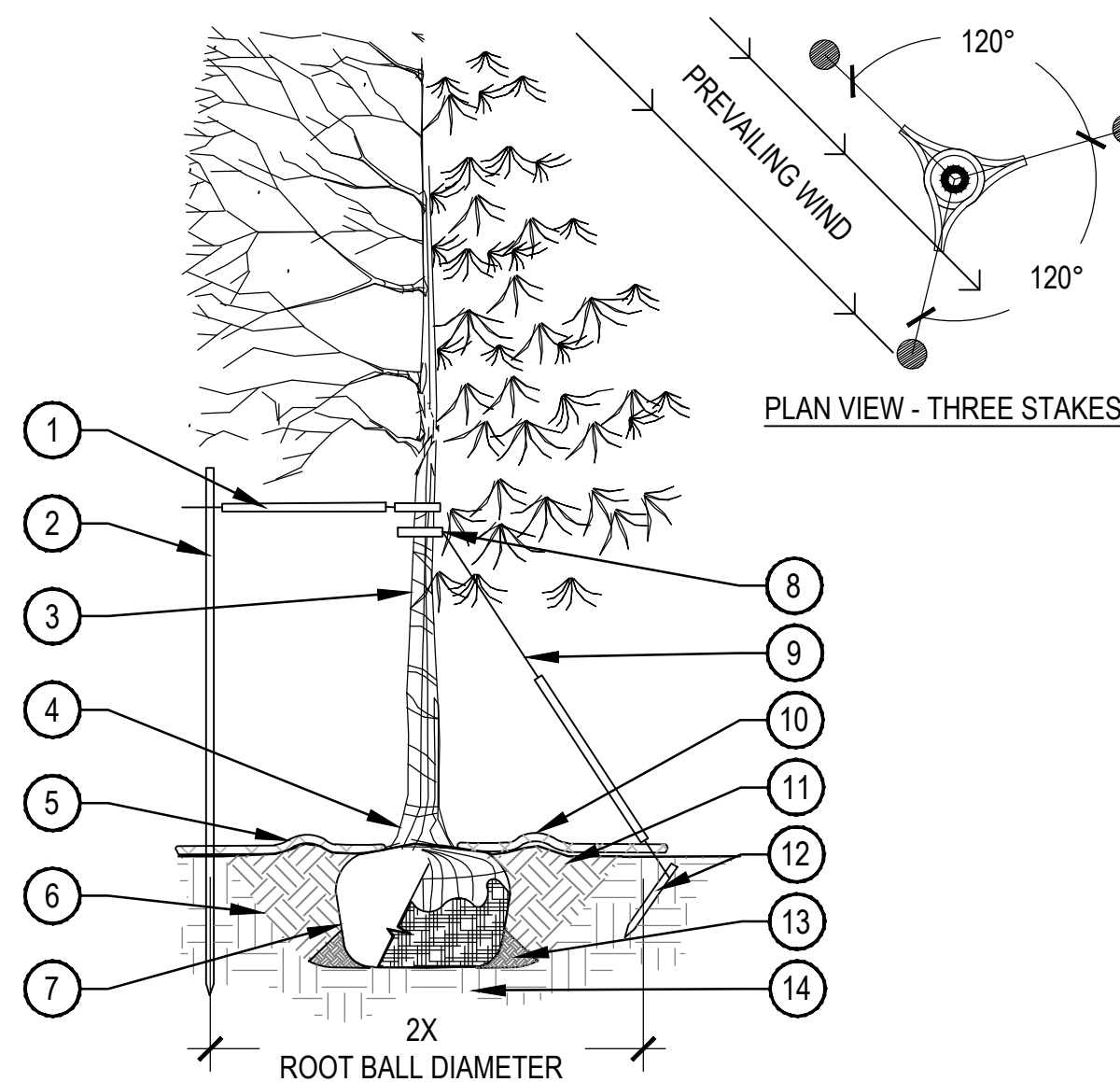
NOT FOR
CONSTRUCTION

PRUNING NOTES:

1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

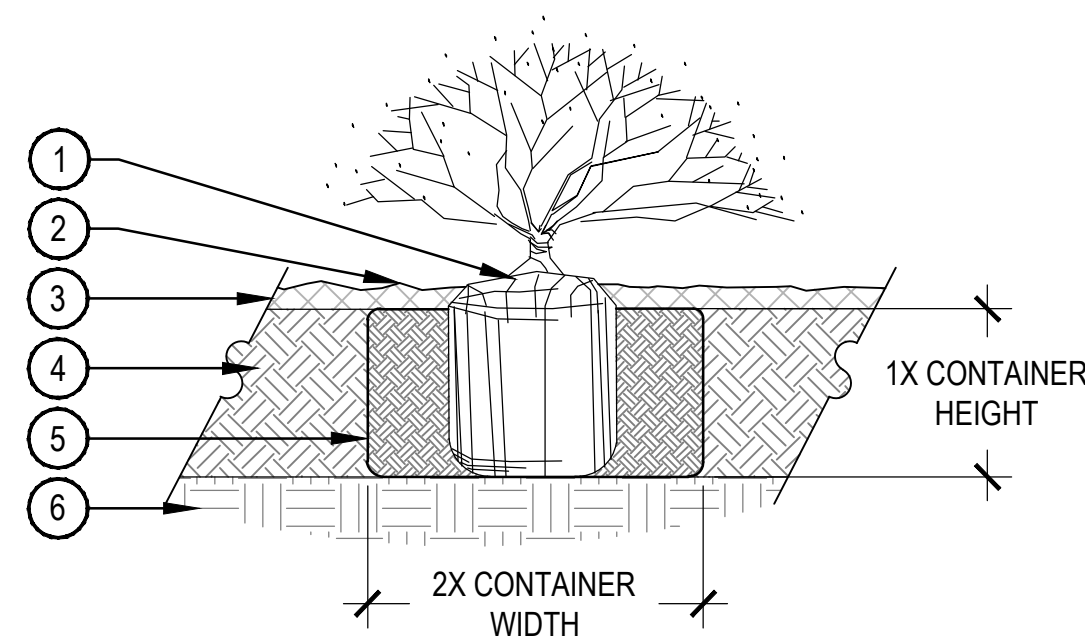
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - a. 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
 - b. 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.



- 1 PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- 2 6'-0" UNTREATED WOOD POST, MINIMUM 1.5" DIAMETER, ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
- 3 TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30, DECIDUOUS ONLY, WRAP FROM BASE OF TRUNK TO BOTTOM LIMB
- 4 PLANT TREE SO THAT TOP MOST MAJOR ROOT IS 1"-2" ABOVE FINISHED GRADE
- 5 2'-0" RADIUS MULCH RING, VENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- 6 1:1 SLOPE ON SIDES OF PLANTING HOLE
- 7 ROPES AT TOP OF ROOTBALL SHALL BE CUT, REMOVE TOP 1/3 OF BURLAP, NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- 8 GROMMETED NYLON STRAPS
- 9 GALVANIZED WIRE, MINIMUM 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
- 10 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
- 11 BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
- 12 2'-0" STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
- 13 PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- 14 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT

1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



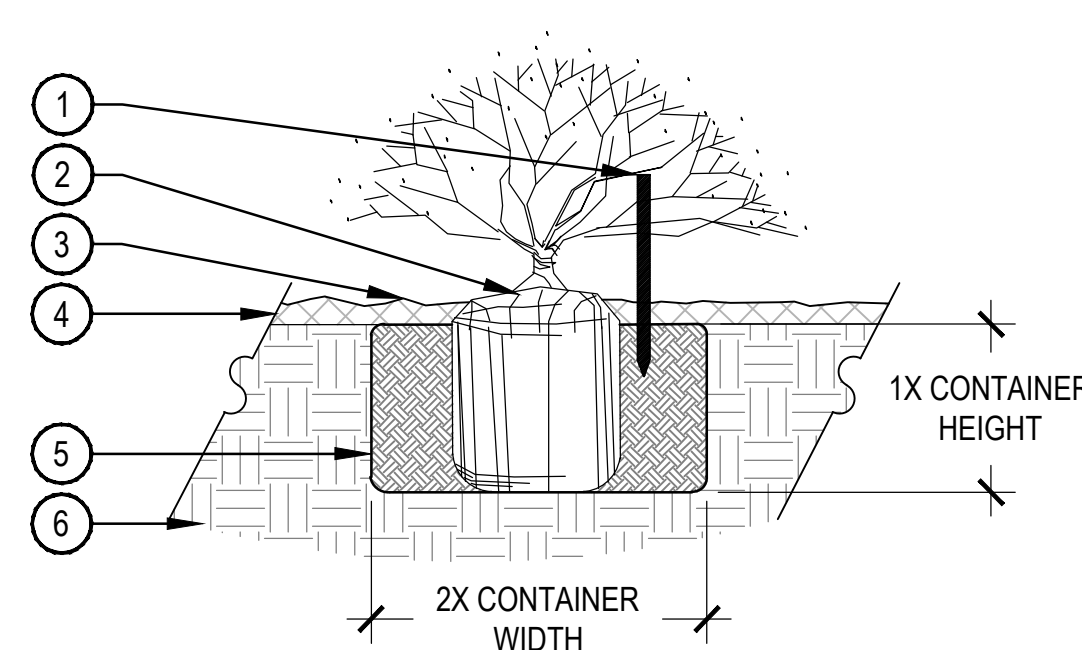
- 1 SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
- 2 FINISH GRADE (TOP OF MULCH)
- 3 SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- 4 TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
- 5 BACKFILLED AMENDED SOIL
- 6 UNDISTURBED SOIL

NOTE:

1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

2 SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"



- 1 2'-6" WOODEN STAKE DRIVEN INTO THE GROUND NEXT TO ROOTBALL, 18" OF THE STAKE MUST BE VISIBLE
- 2 SET SHRUB ROOTBALL 1" HIGHER THAN FINISH GRADE
- 3 FINISH GRADE (TOP OF NATIVE SEED)
- 4 SPECIFIED NATIVE SEED
- 5 TILL SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8"
- 6 UNDISTURBED GRADE

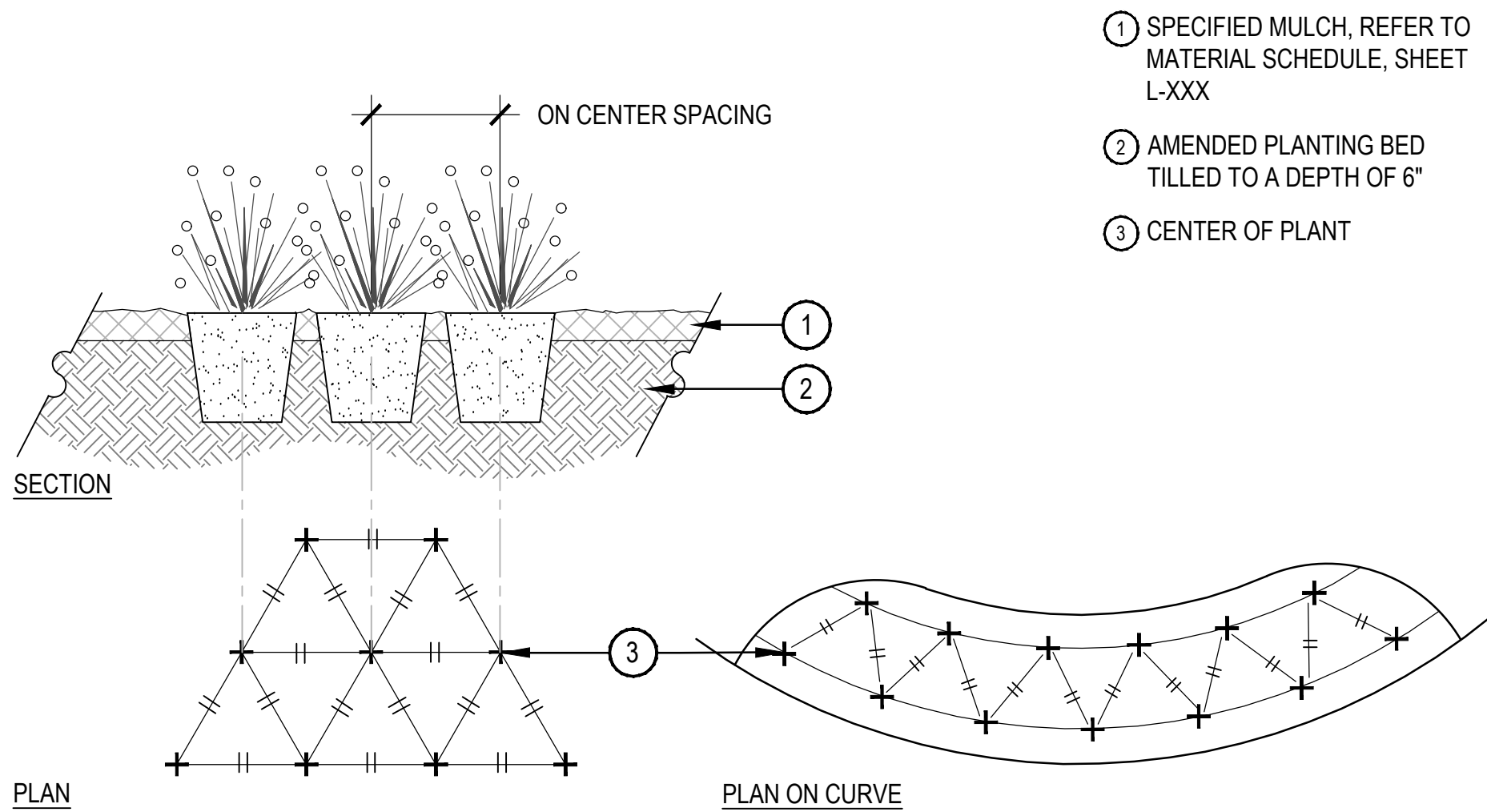
NOTES:

1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
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3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

3 SHRUB PLANTING IN NATIVE AREAS

SCALE: 1 1/2" = 1'-0"

MIDTOWN AT CLEAR CREEK
 FINAL DEVELOPMENT PLAN - FILING TWELVE
 ADAMS COUNTY, COLORADO



- ① SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- ② AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- ③ CENTER OF PLANT

NOTES:

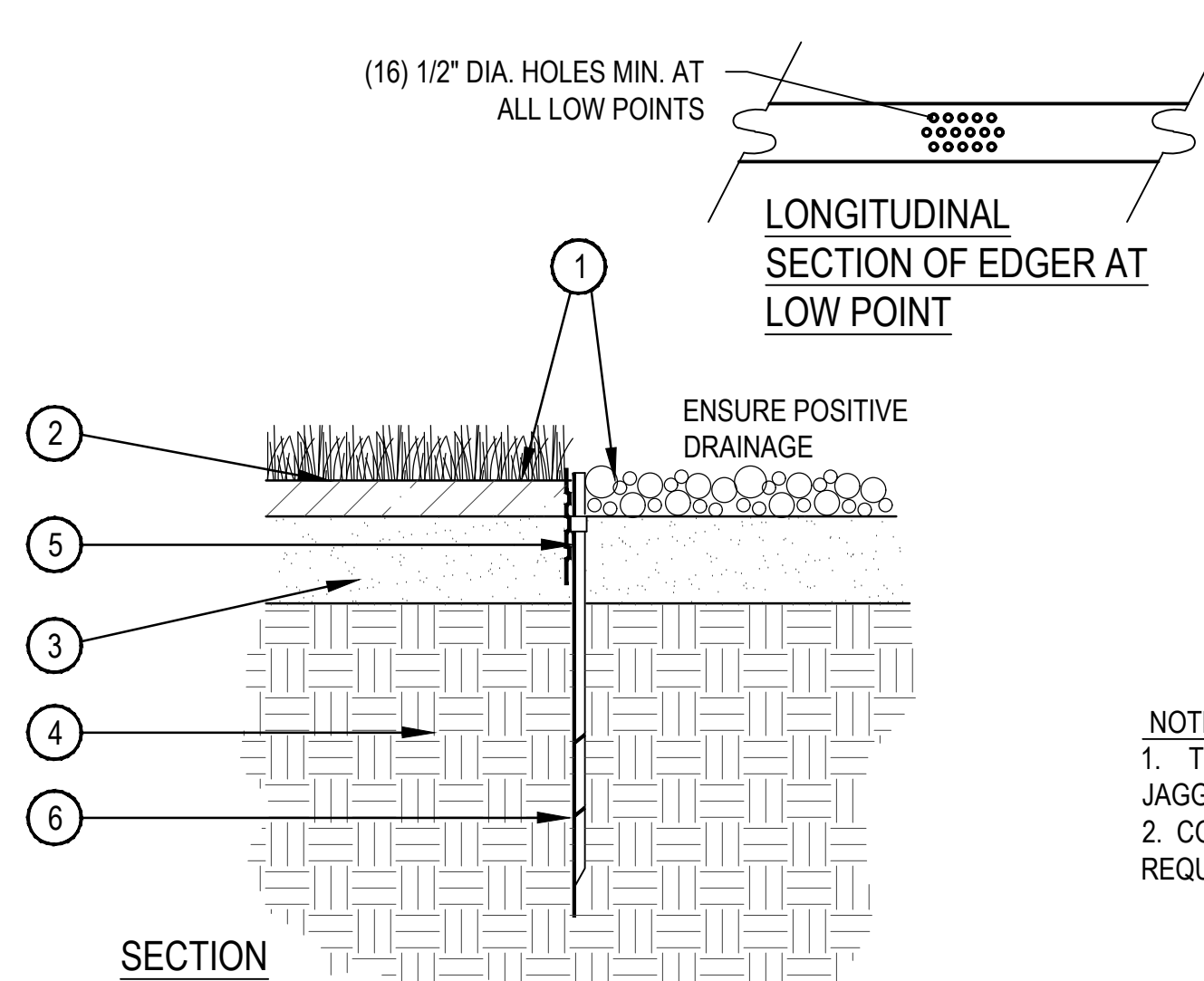
- 1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

1 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

2 STEEL EDGER

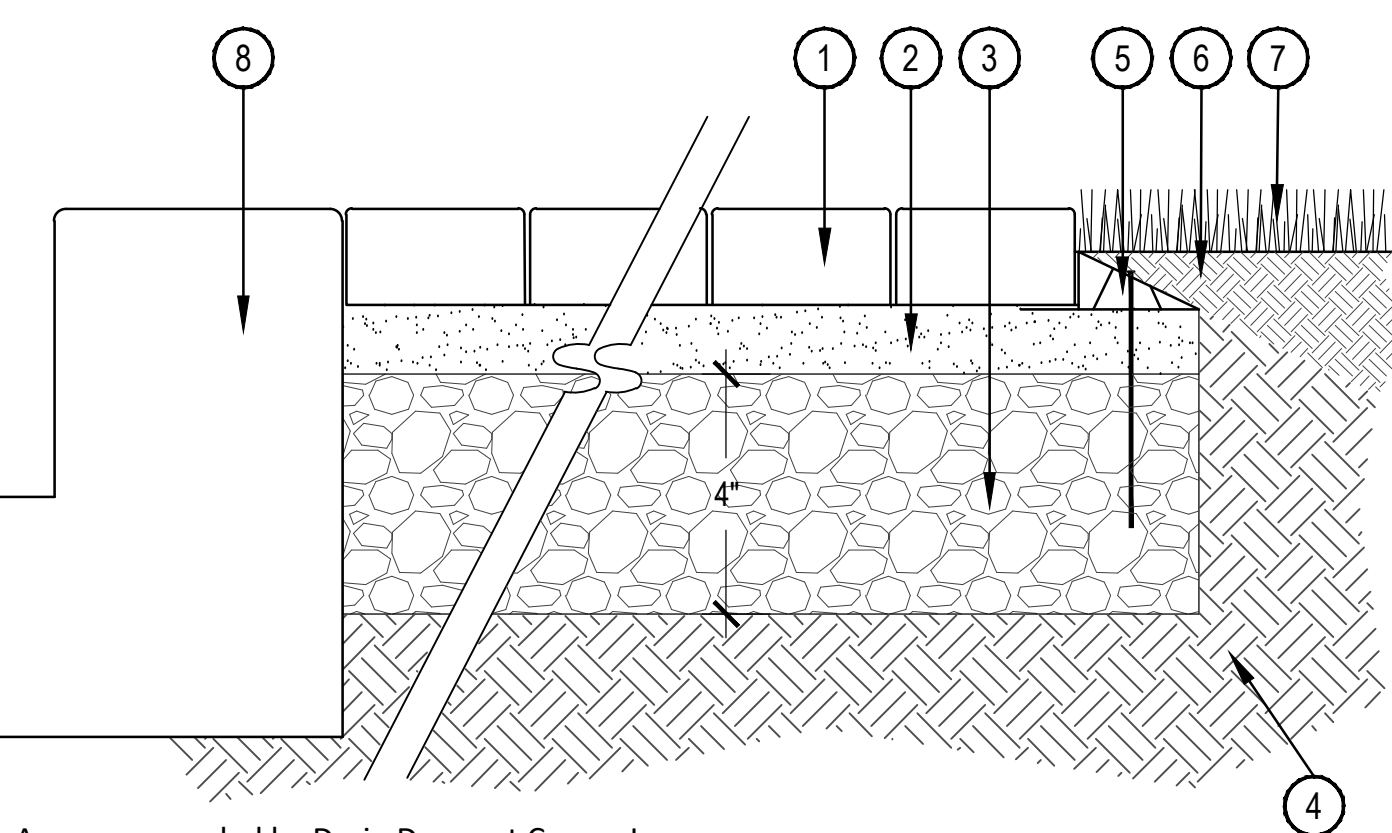
SCALE: 1" = 1'-0"



- ① FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- ② TURF THATCH
- ③ AMENDED SOIL PER SPECIFICATIONS
- ④ SUBGRADE
- ⑤ STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ⑥ EDGER STAKE

NOTES:

- 1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
- 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.



- ① 2 1/4" x 4" x 8" SAND SET BRICK PAVER BY INTERSTATE BRICK, 1/16" GAPS TYP. WITH SAND-FILLED ANGULAR JOINT SAND THAT COMPLIES WITH ASTM C33. RUNNING BOND PATTERN ALWAYS SET AT 20° FROM TRUE NORTH AS INDICATED BY THE HATCH PATTERN ON THE PLANS. CROWN BRICK PAVING IN MEDIANS SO THERE IS APPROXIMATELY A 4% SLOPE TO THE CURB.
- ② WASHED SAND SETTING BED 1"-1.5" DEPTH, PER GEOTECH RECOMMENDATIONS
- ③ AGGREGATE 4" DEPTH, PER GEOTECH RECOMMENDATIONS
- ④ PREPARE SUBGRADE PER GEOTECH RECOMMENDATIONS
- ⑤ PAVESTONE EDGEPRO PAVER RESTRAINT SYSTEM OR APPROVED EQUAL www.pavestone.com
- ⑥ AMENDED TOPSOIL
- ⑦ SOD
- ⑧ CURB AND GUTTER

As recommended by Darin Duran at Cesare Inc:

Pedestrian Pavers

- 1-1.5" of sand base
- 4" of aggregate (beneath sand)
- Subgrade compacted to 95% of maximum dry density as determined by ASTM D698 within 0 to 2 percent of optimum moisture content. The aggregate base course should consist of CDOT Class 6 and be compacted to a minimum of 95% of modified Proctor density as determined by ASTM D1557.

3 BRICK PAVERS - PEDESTRIAN

SCALE: 3" = 1'-0"



NOTES:

- 1. SIGN COPY COLOR, DIMENSIONS, TYPE PER ADAMS COUNTY STANDARDS.
- 2. SIGN HEIGHTS PER ADAMS COUNTY AND CDOT STANDARDS

4 MIDTOWN STREET SIGNAGE

SCALE: NTS

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

Issue Date

04 / 15 / 2020

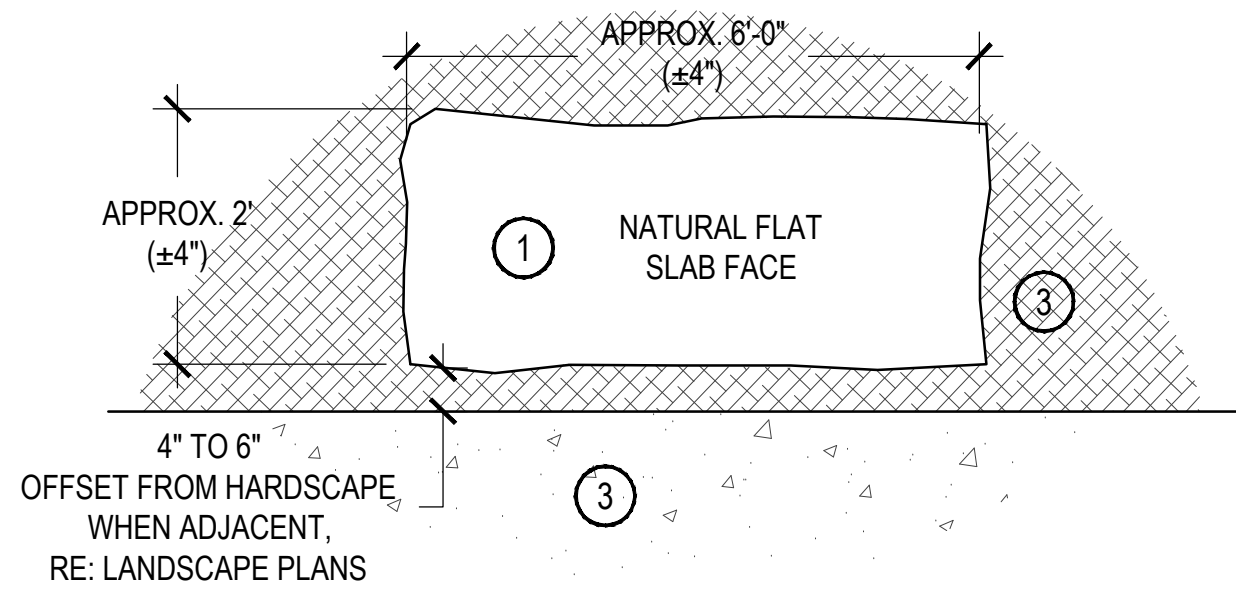
Revision Date

04 / 25 / 2022

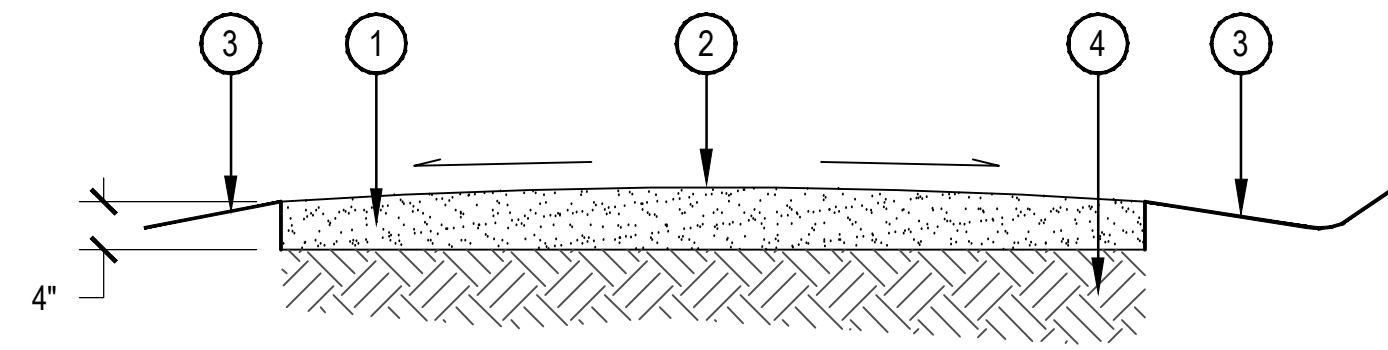
10 / 14 / 2022

11 / 23 / 2022

NOT FOR
CONSTRUCTION



- ① PRAIRIE GOLD SANDSTONE SLAB APPROX. 2' WIDE x 6'-0" LONG x 2" THICK. ALL SIDES SHALL HAVE A NATURAL BROKEN FACE. CONTACT LANDSCAPE ARCHITECT TO SELECT STONES. TOP FACE SHALL BE PREDOMINANTLY FLAT AND SET LEVEL FOR SEATING. PARTIALLY BURY FOR NATURAL LOOK
- ② 4" DEPTH COMPACTED ROAD BASE
- ③ LANDSCAPE AREA, SEE PLANS
- ④ STONES TO HAVE VERTICAL QUARRY DRILL MARKINGS ON ALL SIDES
- ⑤ LOWER 1/3 TO 1/2 OF SLAB TO BE BURIED FOR STABILITY

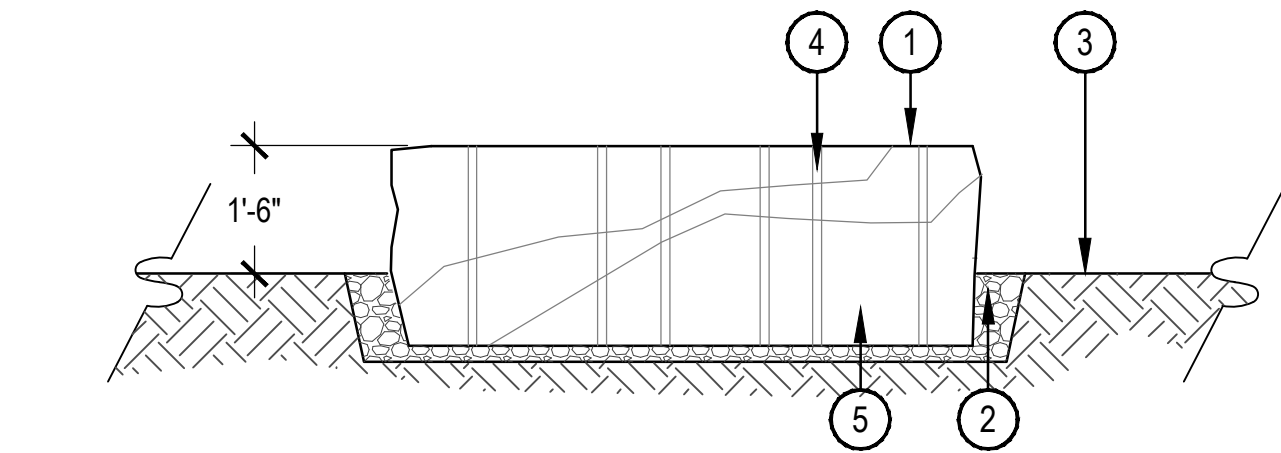


COMPACTION NOTES:

- 1. COMPACT WET FOR BEST RESULTS.
- 2. USE A SMALL (4') RIDING ROLLER TO COMPACT
- 3. CROWN TRAIL IN FLAT AREAS (AS SHOWN).
- 4. CROSS-SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.
- 5. CRUSHER FINE SURFACING (WHEN USED FOR TRAILS) SHALL BE INSTALLED WITH ORGANIC LOCK BINDING AGENT OR APPROVED EQUAL APPLIED PER THE MANUFACTURE'S SPECIFICATIONS.

1 SANDSTONE SLAB

SCALE: 1/2" = 1'-0"



- ① MULCH TO BOULDERS, NO GAPS
- ② NATURALLY SET BOULDER SO THAT A MINIMUM 1/3 OF BOULDER IS BELOW FINISH GRADE.
- ③ 3" MINIMUM COARSE AGGREGATE COMPACTED TO ENSURE DRAINAGE
- ④ UNDISTURBED GRADE

NOTES:

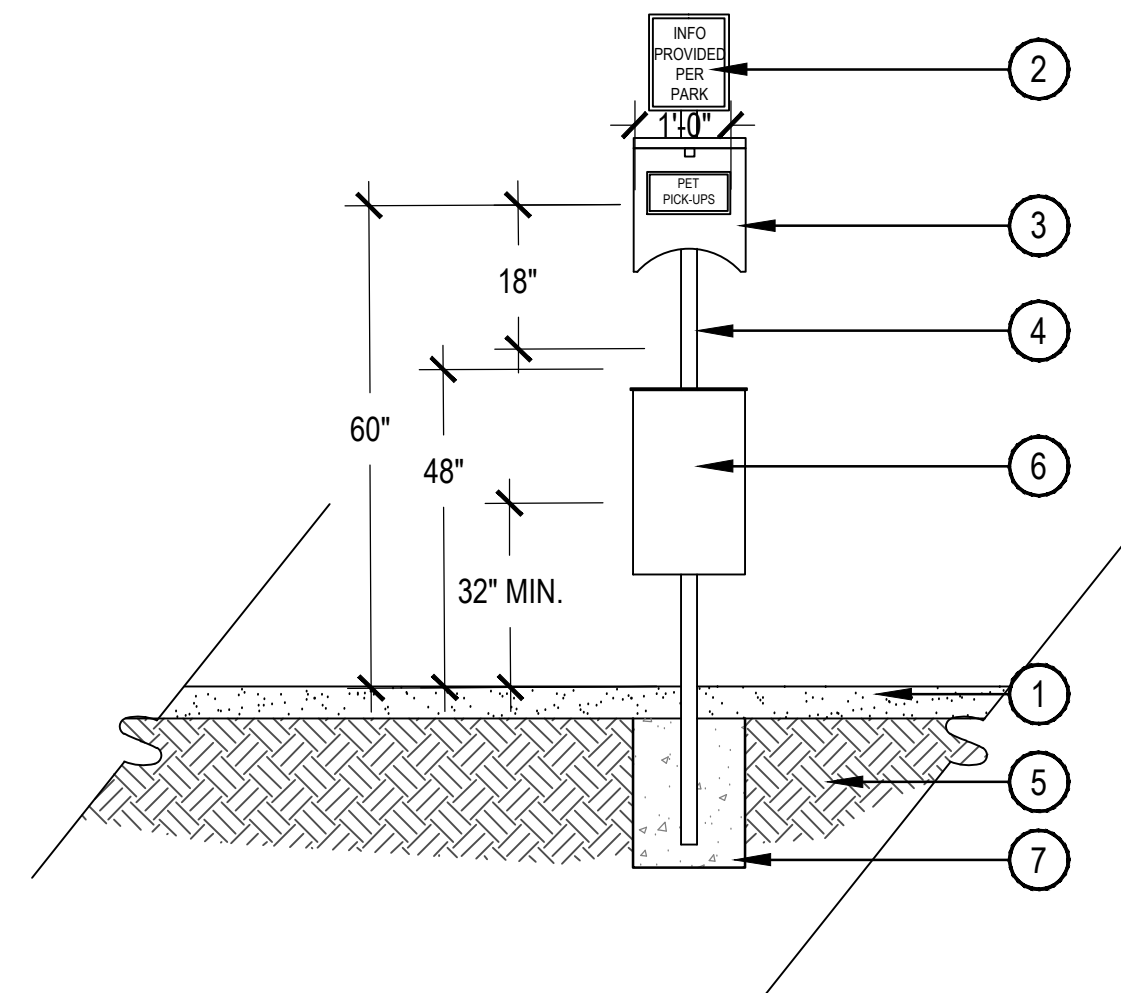
- 1. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
- 2. ALL BOULDERS SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY CLEAR ZONES PER AASHTO GREEN BOOK.

3 BOULDER CROPPING

SCALE: 1" = 1'-0"

2 CRUSHER FINES

SCALE: 3/4" = 1'-0"



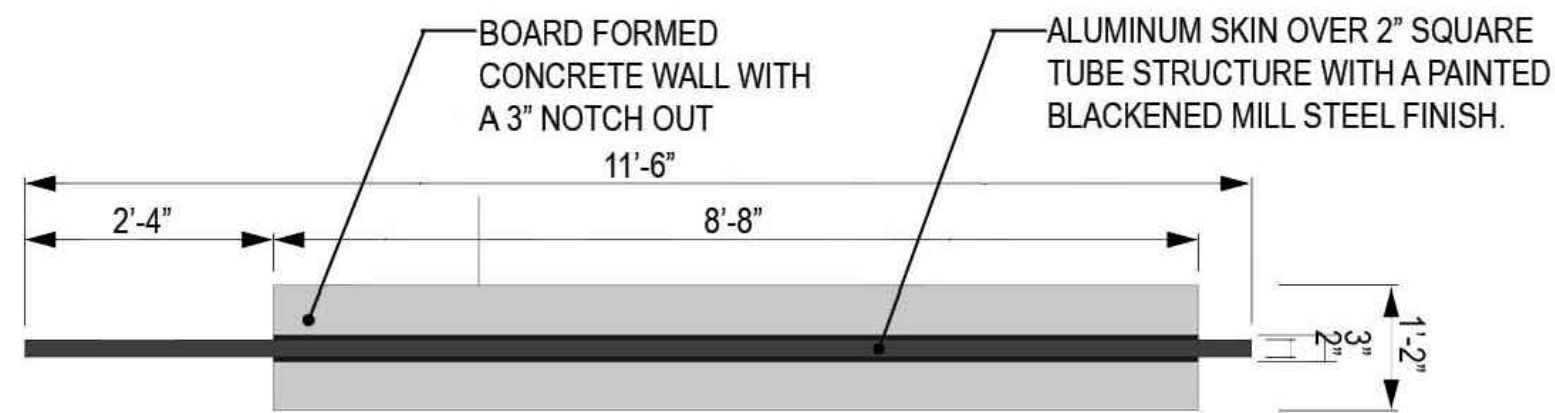
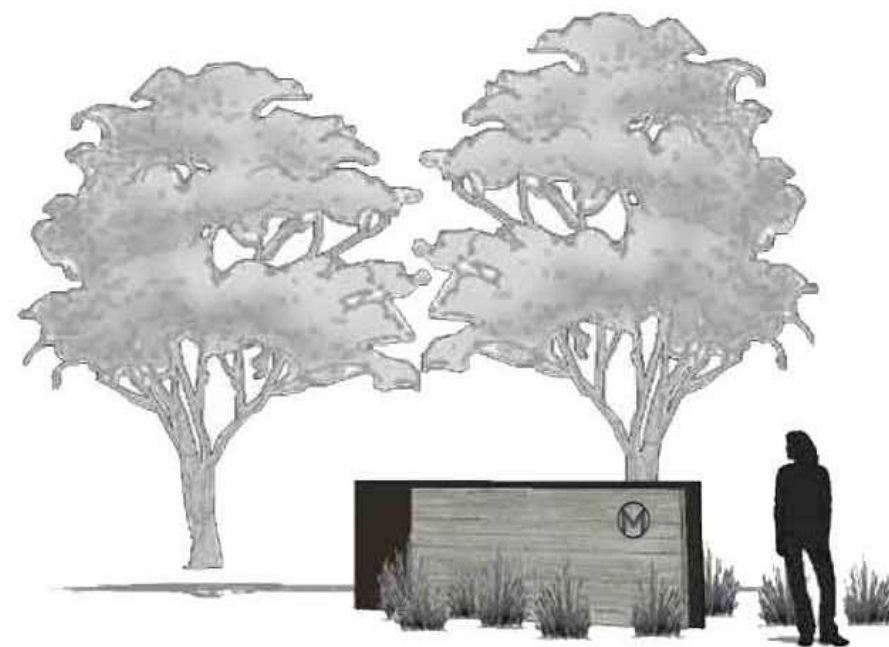
- ① TURF OR PLANTING BED REF: PLANS
- ② REFLECTIVE ALUMINUM SIGN
- ③ TRASH BAG DISPENSER
- ④ SQUARE TUBING
- ⑤ COMPACTED SUBGRADE
- ⑥ PET WASTE RECEPTACLE
- ⑦ SECURE POST IN FOOTING PER MANUFACTURER'S RECOMMENDATIONS

MANUFACTURER: LIVIN THE DOG LIFE
MODEL: ALUMINUM PET STATION - DL-1003-L-DP - OR APPROVED EQUAL COLOR TO MATCH FEDERAL GREEN (RAL 6012)

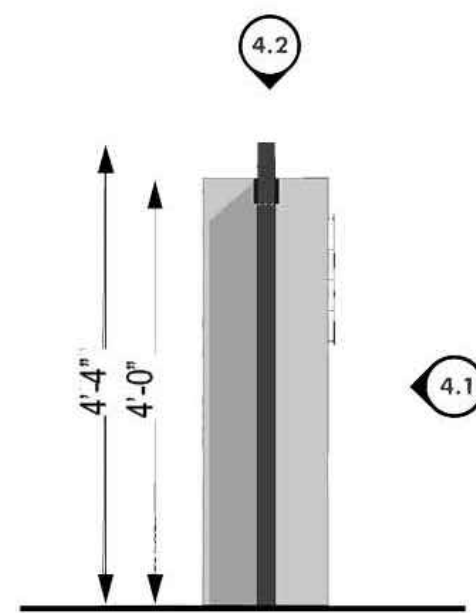
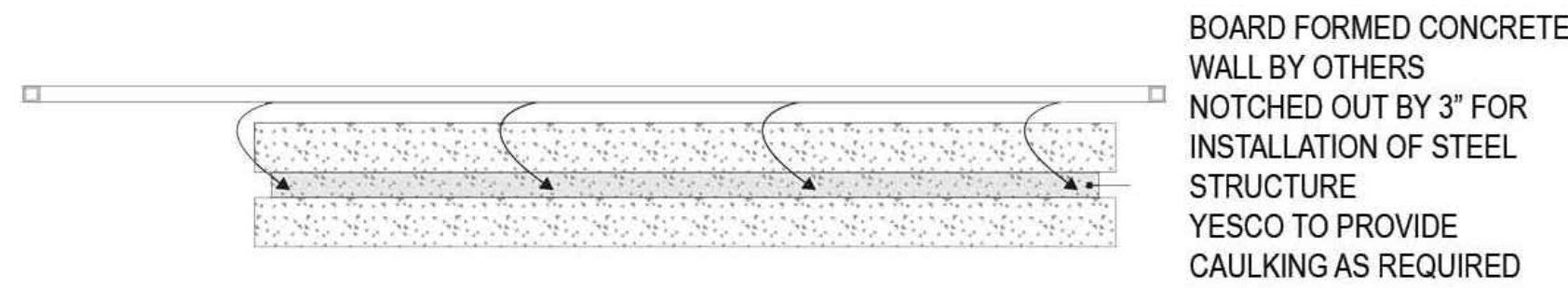
4 PET WASTE STATION

SCALE: 1/2" = 1'-0"

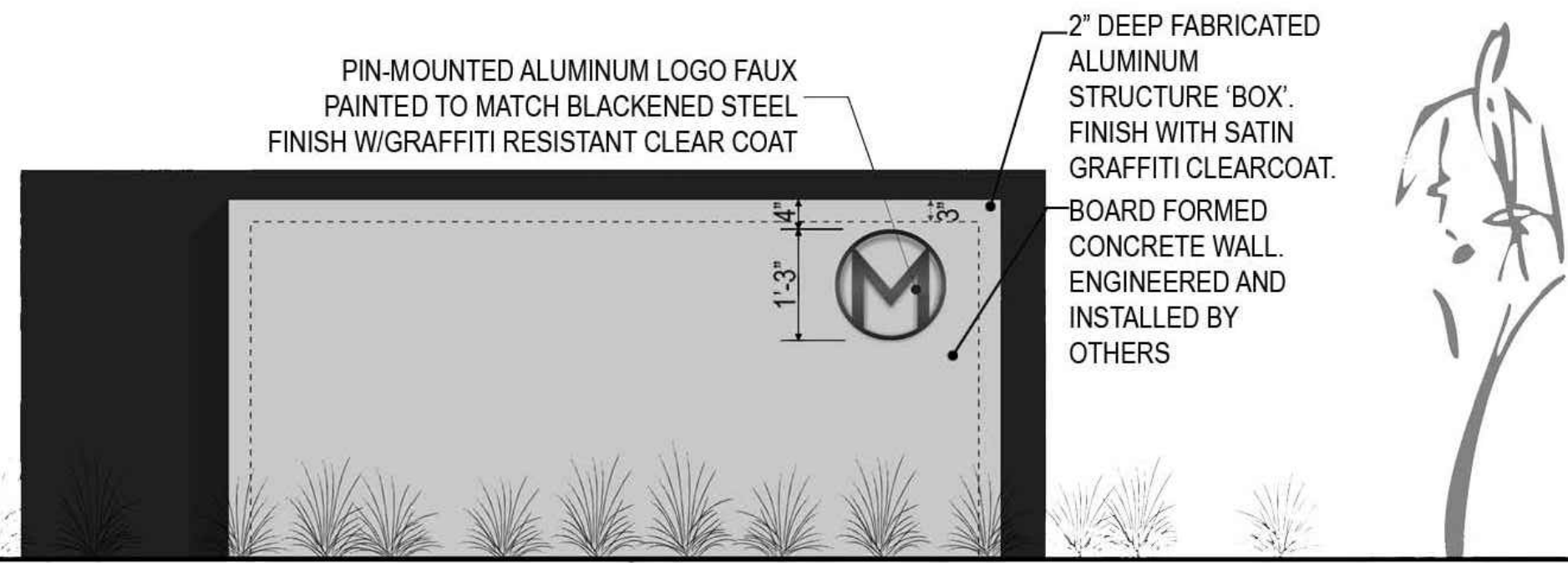
MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO



4.3 PLAN VIEW
QUANTITY: 1 SIGN TYPE A3



4.2 ELEVATION - EAST FACE
QUANTITY: 1 SIGN TYPE A3



4.1 ELEVATION - NORTH FACE
QUANTITY: 1 SIGN TYPE A3

SEE ENGINEERED DRAWINGS FOR
STRUCTURE AND CONSTRUCTION
DETAILS. FOOTING BY OTHERS

MONUMENTATION SIGNAGE IS CONCEPTUAL
AND DESIGN IS SUBJECT TO CHANGE.

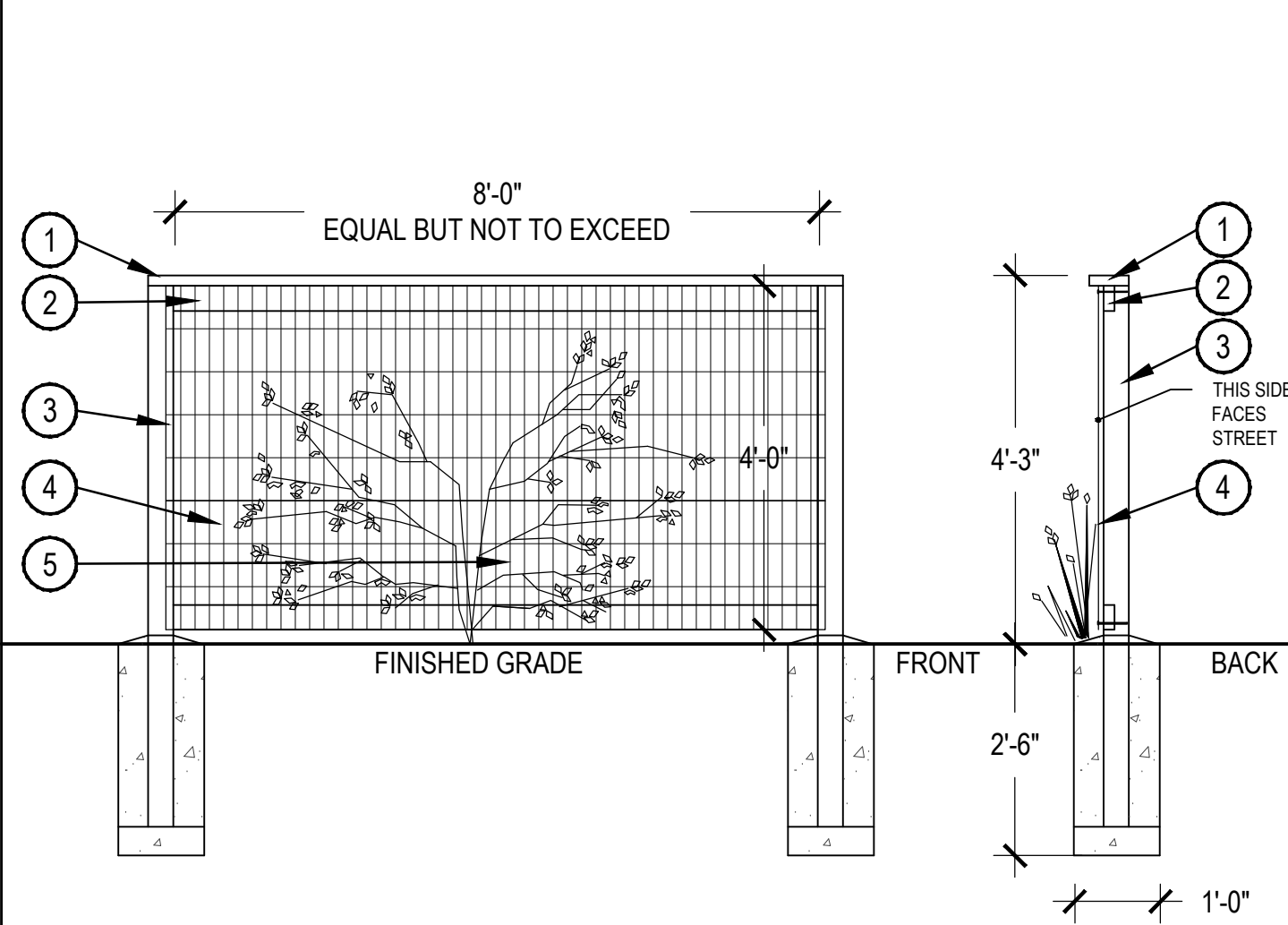
SCALE: NTS

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

1

MONUMENT SIGN

MONUMENT SIGNS DRAWN BY YESCO



- ① 2" X 6" STAINED ROUGH SAWN
- ② 2" X 4" STAINED ROUGH SAWN
- ③ 4" X 4" STAINED ROUGH SAWN CEDAR POST.
- ④ 2"X4" GALVANIZED WELDED WIRE MESH 4' X 8' PANELS .
- ⑤ VINE PLANTING, SEE MINIMUM LANDSCAPE REQUIREMENTS, LANDSCAPE TYPICALS FOR PLANTING REQUIREMENTS

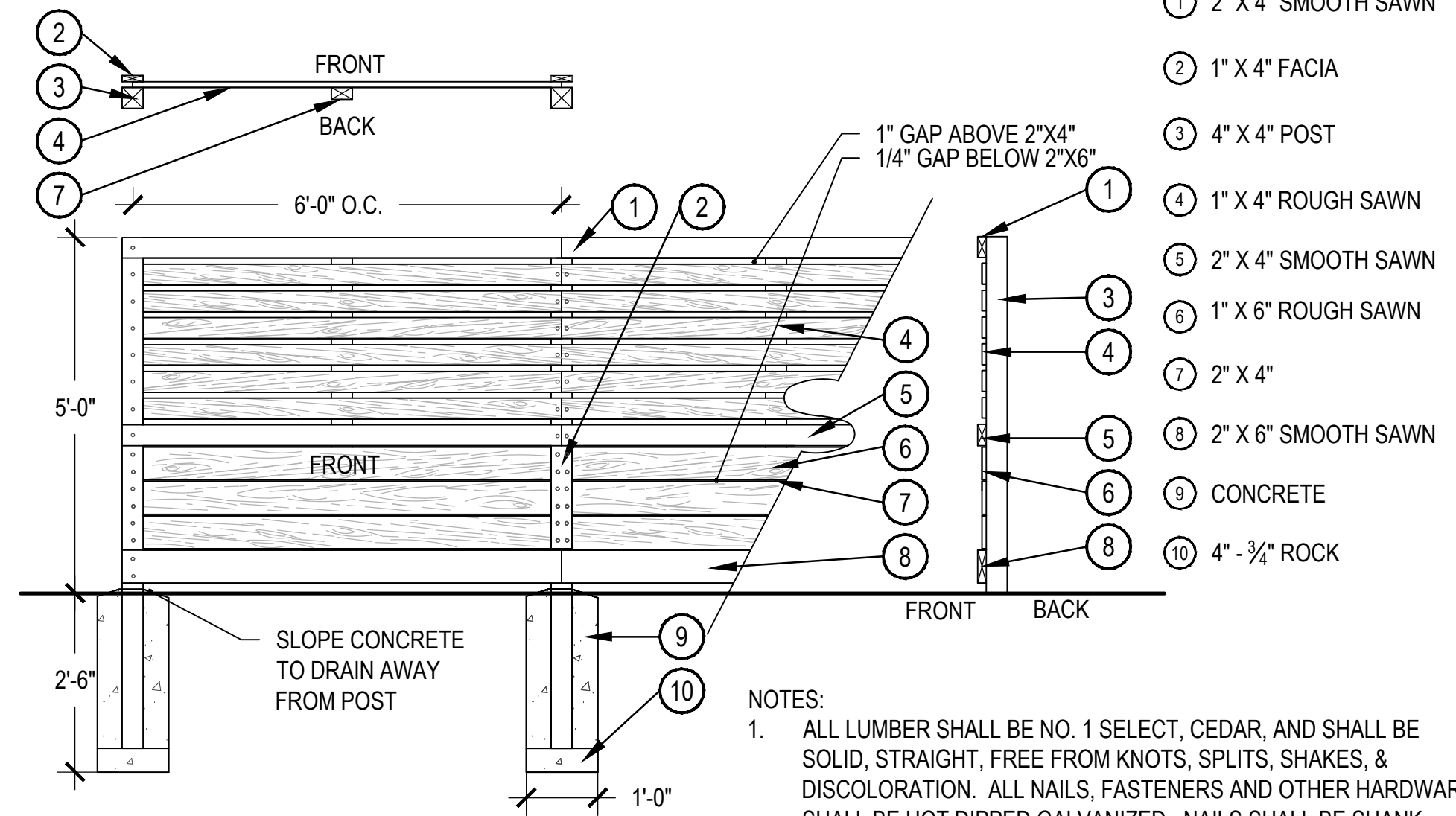
Welded Wire Fencing is intended as an open and transparent fence style. This transparency minimizes street wall effects and encourages a more social and close knit community. Typical lot planting designs require the use of vines in order to establish the vegetated living wall appearance desired for the open welded wire fence. Lots requiring Open Fencing-Welded Wire Fence and vines shall be maintained by homeowner, see landscape Installation and Maintenance Requirements on sheet 8 and Landscape Design Guidelines. Open Fencing-Welded Wire Fence and vines in open space tracts shall be maintained by district.

1 OPEN FENCING - WELDED WIRE FENCE

SCALE: 1/2" = 1'

FENCING IN FILING 12

NOTE: NO FENCING IS PROPOSED WITHIN FILING 12. HOWEVER, THE FENCE TYPES PERMITTED WOULD BE THOSE DESIGNED TO MATCH THE REST OF MIDTOWN'S FENCING STANDARDS. THE ABOVE INCLUDED DETAILS ARE FOR REFERENCE ONLY AND ARE NOT LOCATED WITHIN FILING 12.



- ① 2" X 4" SMOOTH SAWN
- ② 1" X 4" FACIA
- ③ 4" X 4" POST
- ④ 1" X 4" ROUGH SAWN
- ⑤ 2" X 4" SMOOTH SAWN
- ⑥ 1" X 6" ROUGH SAWN
- ⑦ 2" X 4"
- ⑧ 2" X 6" SMOOTH SAWN
- ⑨ CONCRETE
- ⑩ 4" - 3/4" ROCK

NOTES:

1. ALL LUMBER SHALL BE NO. 1 SELECT, CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION. ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.

2 SOLID FENCE - HORIZONTAL WOOD FENCE

SCALE: 1/2" = 1'

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

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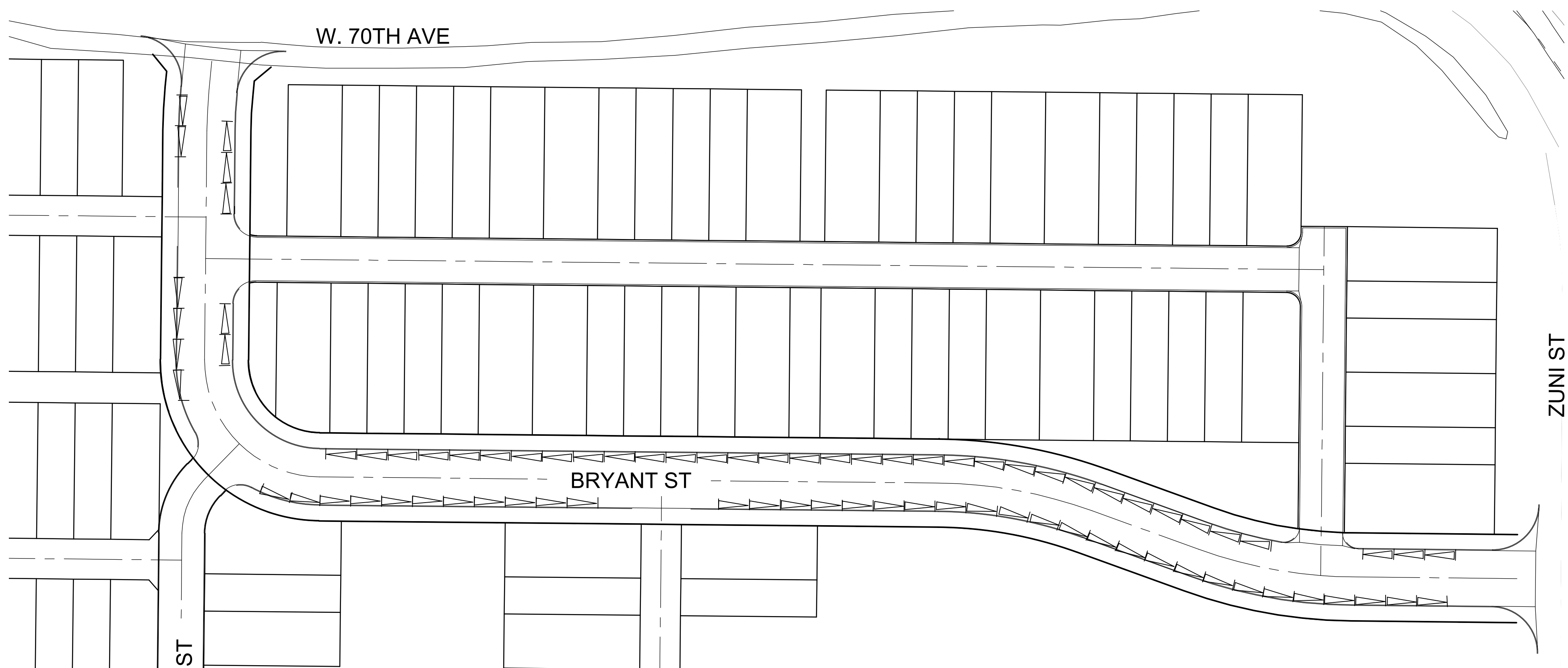
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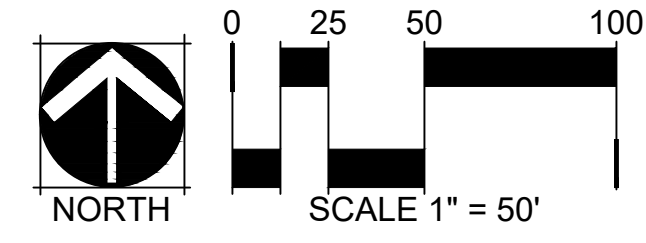
NOT FOR
CONSTRUCTION



PARKING COUNT

DESCRIPTION	LOTS & BLOCKS	QUANTITY
① ALLEY-LOADED SINGLE	BLOCK 1 - LOTS 1-47 BLOCK 2 - LOTS 1-52 BLOCK 3 - LOTS 1-8	214 SPACES (2 SPACES PER UNIT)
② FAMILY ATTACHED		
③ TOWNHOMES WITH 2 CAR GARAGE		
ON STREET PARKING SPACES	BRYANT STREET	82 SPACES
OFF STREET PARKING LOT SPACES		20 SPACES
TOTAL SPACES		316
SPACES PER UNIT		2.95

Per the third amendment to the PDP, Midtown shall have 2.5 spaces per dwelling unit overall.



MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING TWELVE
ADAMS COUNTY, COLORADO

Issue Date

04 / 15 / 2020

Revision Date

04 / 25 / 2022

10 / 14 / 2022

11 / 23 / 2022

NOT FOR CONSTRUCTION

CHECKED BY: JN, EM
DRAWN BY: JP, JK
FILENAME: PLAN-MIDTOWN_FILING12 FDP-LAND

MIDTOWN AT CLEAR CREEK – FILING NO. 12

CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 9

PURPOSE

THE PURPOSE OF THIS PLAT IS TO REPLAT 1 EXISTING LOT INTO 107 LOTS, 12 TRACTS, AND RIGHT-OF-WAY.

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND SITUATED IN THE EAST HALF OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ALL OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 AS RECORDED JANUARY 18, 2018 AT RECEPTION NO. 201800005760 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE.

CONTAINING AN AREA OF 31.979 ACRES, (1,393,023 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **MIDTOWN AT CLEAR CREEK – FILING NO. 12** AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN, AND THE EASEMENTS AS SHOWN (EXCLUDING THOSE GRANTED AND DEDICATED TO MIDTOWN METROPOLITAN DISTRICT NO. 1), FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

EXECUTED THIS ____ DAY OF _____, 2022.
OWNER: MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY

PETER LAUENER

ACKNOWLEDGEMENT

BY: MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____ A.D. 20____ BY PETER LAUENER AS PRESIDENT OF MIDTOWN FACILITY, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

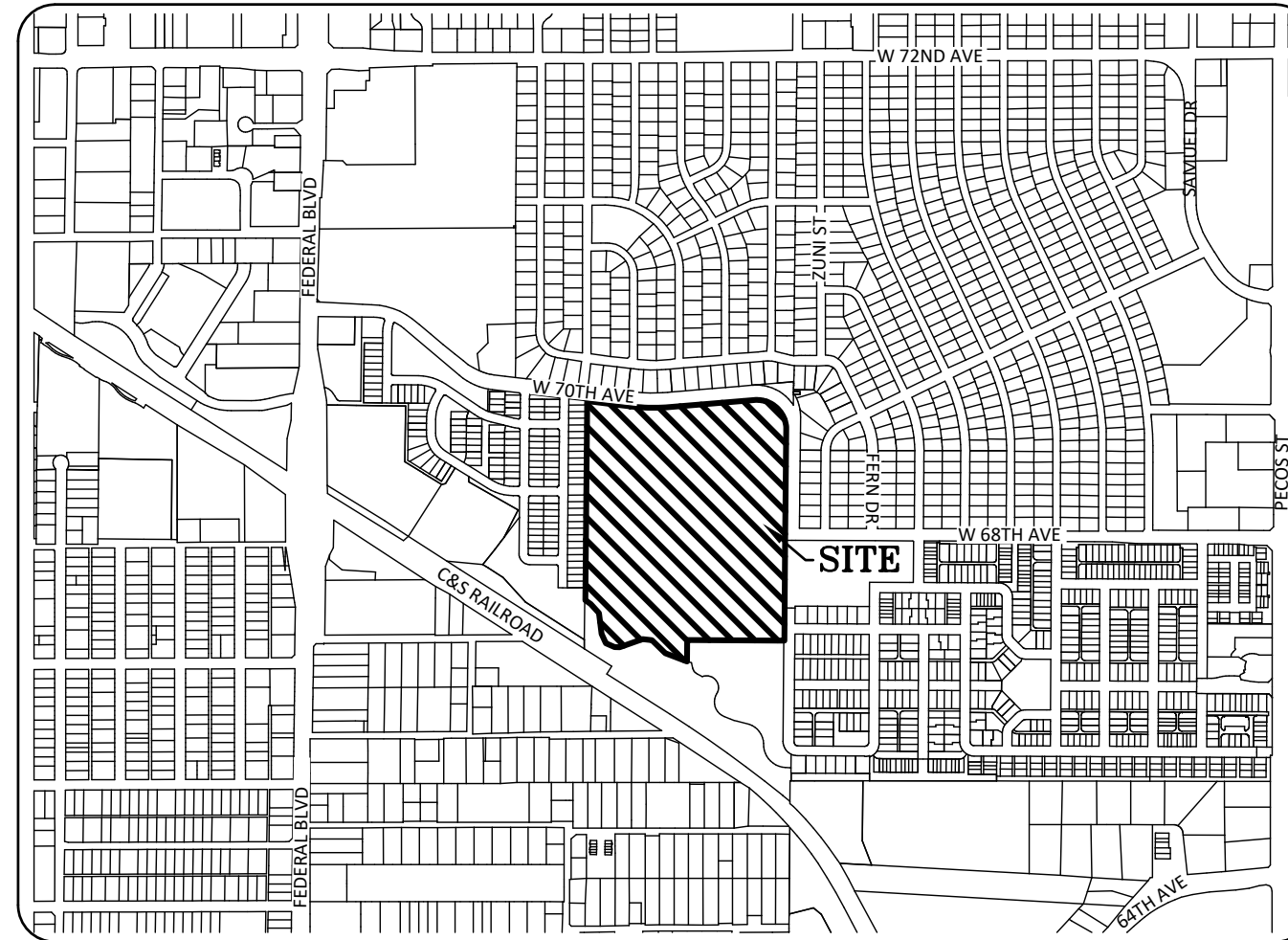
WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

ACKNOWLEDGEMENT AND ACCEPTANCE BY MIDTOWN METROPOLITAN DISTRICT NO. 1

I, MATTHEW ZIELINSKI AS PRESIDENT OF MIDTOWN METROPOLITAN DISTRICT NO. 1, WHICH HAS AN ADDRESS OF 2154 EAST COMMONS AVENUE, SUITE 2000, CENTENNIAL, COLORADO, HEREBY ACKNOWLEDGE AND ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND CONVEYANCE OF THE OPEN SPACE, ACCESS, LANDSCAPING, DRAINAGE, UTILITY AND PEDESTRIAN ACCESS EASEMENTS AS SHOWN WITHIN **MIDTOWN AT CLEAR CREEK – FILING NO. 12**, COUNTY OF ADAMS, STATE OF COLORADO.

BY: _____ DATE: _____
PRESIDENT



VICINITY MAP
1" = 1000'

SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

ANTHONY K. PEALL
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38636
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1898

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, A.D., 20____

CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT _____ M. ON THE ____ DAY OF _____ A.D., 20____

COUNTY CLERK AND RECORDER

BY: _____ RECEPTION NO. _____
DEPUTY

TRACT SUMMARY TABLE

TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	936,014	21.488	OPEN SPACE	MMD NO. 1
B	41,179	0.945	LS/DRAINAGE/PA	MMD NO. 1
C	5,534	0.127	LS/DRAINAGE/PA	MMD NO. 1
D	1,940	0.045	PRIVATE ALLEY/ACCESS	MMD NO. 1
E	1,359	0.031	LS/DRAINAGE/PA	MMD NO. 1
F	25,070	0.576	PRIVATE ALLEY/ACCESS/UTILITY ESMT	MMD NO. 1
G	4,056	0.093	PRIVATE ALLEY/ACCESS	MMD NO. 1
H	4,098	0.094	PRIVATE ALLEY/ACCESS	MMD NO. 1
I	4,098	0.094	PRIVATE ALLEY/ACCESS	MMD NO. 1
J	4,098	0.094	PRIVATE ALLEY/ACCESS	MMD NO. 1
K	2,574	0.059	PRIVATE ALLEY/ACCESS	MMD NO. 1
L	26,347	0.605	PRIVATE ALLEY/ACCESS/UTILITY ESMT	MMD NO. 1
TOTAL TRACT AREA	1,056,367	24.251		MMD NO. 1 - MIDTOWN METROPOLITAN DISTRICT NO. 1 NO. 1
TOTAL LOT AREA	274,174	6.294		
ROW DEDICATION (BRYANT STREET)	62,482	1.434		LS/DRAINAGE/PA = LANDSCAPING, DRAINAGE, PEDESTRIAN ACCESS
TOTAL SITE AREA	1,393,023	31.979		

AZTEC CONSULTANTS, INC.
300 East Mineral Ave, Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No: 54820-02

DATE OF PREPARATION:	2021-12-28								
SCALE:	N/A	2	COUNTY COMMENTS	11/22/22	BOL	AKP			
SHEET 1 OF 9		1	COUNTY&UTIL COMMENTS	9/21/22	BOL	AKP			
		NO.	REVISION	DATE	BY	CHK	NO.	REVISION	DATE

FOR REVIEW

MIDTOWN AT CLEAR CREEK – FILING NO. 12

CASE NO. PRC
2020-00008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 9

NOTES

1. BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SIXTEENTH CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.

2. **STORM DRAINAGE FACILITIES STATEMENT:** THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.

3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.

4. AZTEC CONSULTANTS, INC. HAS RELIED UPON TITLE COMMITMENT REPORT POLICY NUMBER OX70615836.1.1891838 PREPARED BY LAND TITLE GUARANTEE COMPANY, EFFECTIVE DATE 11/16/2022 AT 5:00 P.M. (PER ENDORSEMENT 107.12), FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.

5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.

6. 6-FOOT WIDE UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY MIDTOWN METROPOLITAN DISTRICT NO. 1. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.

7. THE MIDTOWN METROPOLITAN DISTRICT NO. 1 (MMD NO. 1) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH MMD NO. 1, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN AND LANDSCAPE TRACT BETWEEN FRONT PROPERTY LINE AND STREET SHALL BE THE PRIMARY RESPONSIBILITY OF THE HOMEOWNER UNDER THE REQUIREMENTS OF THE MMD NO. 1 COVENANTS. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS. HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.

8. BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" AND A PORTION LIES WITHIN ZONE AE, BEING DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD" SAID ZONE AE LIMITS AS SHOWN HEREON. LETTER OF MAP REVISION (LOMR) WAS ISSUED FOR THE FLOODPLAIN BOUNDARIES OF THE BASE FLOOD ON FEBRUARY 14, 2019, CASE NO. 18-08-0635P AND LETTER OF MAP REVISION (LOMR) WAS ISSUED FOR THE FLOODPLAIN BOUNDARIES OF THE BASE FLOOD ON NOVEMBER 27, 2020, CASE NO. 19-08-0665P. FLOODPLAIN BOUNDARIES ARE ILLUSTRATED ON SHEET 3.

9. A PORTION OF THIS PLAT IS SUBJECT TO AN ENVIRONMENTAL COVENANT AS RECORDED AUGUST 10, 2007, UNDER RECEPTION NO. 2007000077016.

10. ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY THE MIDTOWN METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE MIDTOWN METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.

ADDRESS TABLE

BLOCK 1		BLOCK 2		BLOCK 3	
LOT	ADDRESS	LOT	ADDRESS	LOT	ADDRESS
1	2677 W. 69th Dr.	1	2643 W. 69th Place	1	6880 Canosa St.
2	2671 W. 69th Dr.	2	2635 W. 69th Place	2	6886 Canosa St.
3	2665 W. 69th Dr.	3	2627 W. 69th Place	3	6894 Canosa St.
4	2659 W. 69th Dr.	4	2619 W. 69th Place	4	6855 Bryant Ct.
5	2653 W. 69th Dr.	5	2611 W. 69th Place	5	6863 Bryant Ct.
6	2654 W. 69th Dr.	6	2603 W. 69th Place	6	6877 Bryant Ct.
7	2660 W. 69th Dr.	7	2597 W. 69th Place	7	6864 Bryant Ct.
8	2666 W. 69th Dr.	8	2585 W. 69th Place	8	6852 Bryant Ct.
9	2672 W. 69th Dr.	9	2571 W. 69th Place		
10	2678 W. 69th Dr.	10	2563 W. 69th Place		
11	2684 W. 69th Dr.	11	2555 W. 69th Place		
12	2679 W. 68th Dr.	12	2547 W. 69th Place		
13	2673 W. 68th Dr.	13	2539 W. 69th Place		
14	2667 W. 68th Dr.	14	2531 W. 69th Place		
15	2661 W. 68th Dr.	15	2523 W. 69th Place		
16	2655 W. 68th Dr.	16	2515 W. 69th Place		
17	2649 W. 68th Dr.	17	2507 W. 69th Place		
18	2650 W. 68th Dr.	18	2491 W. 69th Place		
19	2658 W. 68th Dr.	19	2475 W. 69th Place		
20	2664 W. 68th Dr.	20	2459 W. 69th Place		
21	2670 W. 68th Dr.	21	2443 W. 69th Place		
22	2676 W. 68th Dr.	22	2427 W. 69th Place		
23	2682 W. 68th Dr.	23	2411 W. 69th Place		
24	2681 W. 68th PL.	24	6884 Zuni Ct		
25	2675 W. 68th PL.	25	6878 Zuni Ct		
26	2669 W. 68th PL.	26	6874 Zuni Ct		
27	2663 W. 68th PL.	27	6868 Zuni Ct		
28	2657 W. 68th PL.	28	6864 Zuni Ct		
29	2651 W. 68th PL.	29	6860 Zuni Ct		
30	2656 W. 68th PL.	30	2404 W. 69th Place		
31	2662 W. 68th PL.	31	2420 W. 69th Place		
32	2668 W. 68th PL.	32	2436 W. 69th Place		
33	2674 W. 68th PL.	33	2452 W. 69th Place		
34	2680 W. 68th PL.	34	2468 W. 69th Place		
35	2686 W. 68th PL.	35	2484 W. 69th Place		
36	2677 W. 67th PL.	36	2502 W. 69th Place		
37	2671 W. 67th PL.	37	2510 W. 69th Place		
38	2665 W. 67th PL.	38	2518 W. 69th Place		
39	2659 W. 67th PL.	39	2526 W. 69th Place		
40	2653 W. 67th PL.	40	2534 W. 69th Place		
41	2647 W. 67th PL.	41	2542 W. 69th Place		
42	2652 W. 67th PL.	42	2560 W. 69th Place		
43	2658 W. 67th PL.	43	2568 W. 69th Place		
44	2664 W. 67th PL.	44	2576 W. 69th Place		
45	2670 W. 67th PL.	45	2584 W. 69th Place		
46	2676 W. 67th PL.	46	2592 W. 69th Place		
47	2682 W. 67th PL.	47	2606 W. 69th Place		
		48	2614 W. 69th Place		
		49	2622 W. 69th Place		
		50	2630 W. 69th Place		
		51	2638 W. 69th Place		
		52	2646 W. 69th Place		

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

 300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

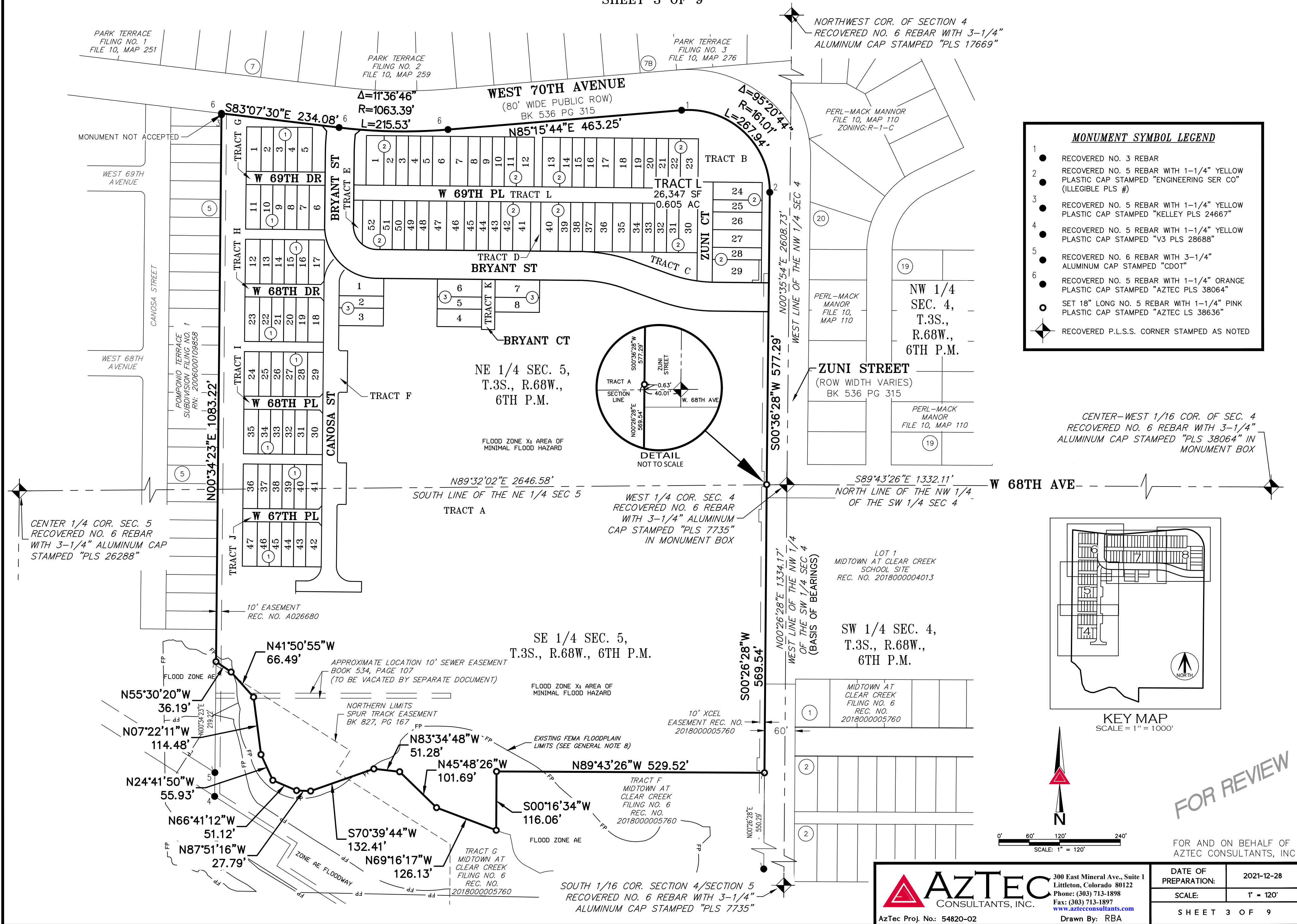
AzTec Proj. No.: 54820-02 Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	N/A
SHEET 2 OF 9	

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

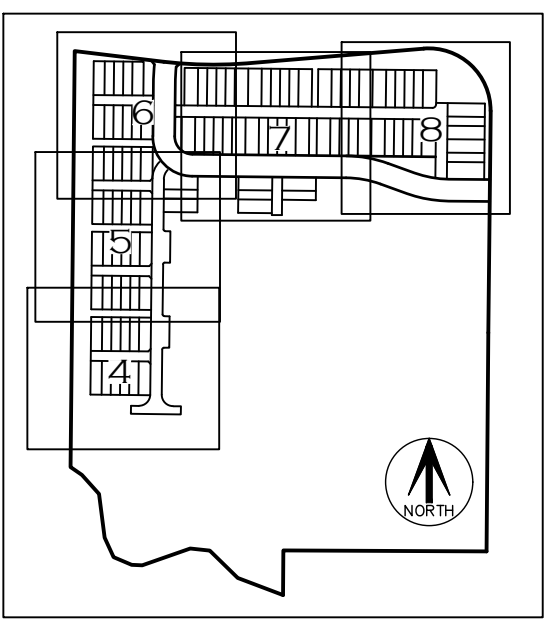
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 9



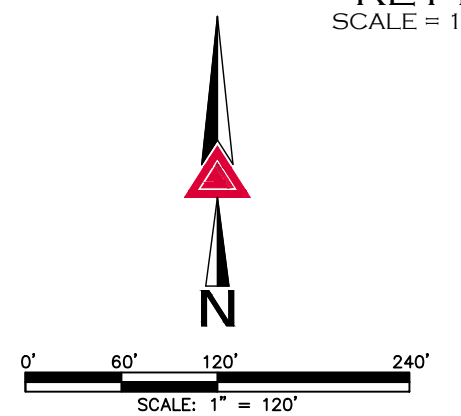
MONUMENT SYMBOL LEGEND

- 1 ● RECOVERED NO. 3 REBAR
- 2 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- 3 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- 4 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- 5 ● RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- 6 ● RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

CENTER-WEST 1/16 COR. OF SEC. 4
RECOVERED NO. 6 REBAR WITH 3-1/4"
ALUMINUM CAP STAMPED "PLS 38064" IN
MONUMENT BOX



FOR REVIEW



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

AZTEC
CONSULTANTS, INC.

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Littleton, Colorado 80122
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www.aztecconsultants.com

AzTec Proj. No.: 54820-02

Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 120'
SHEET 3 OF 9	

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

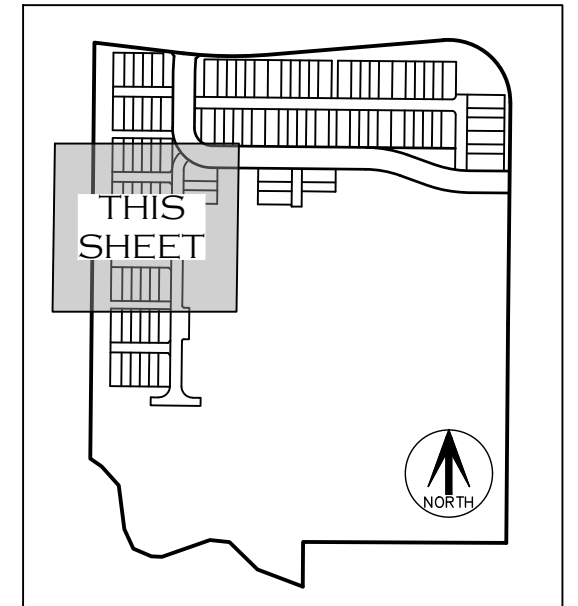
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5 OF 9

SEE SHEET 6



- MONUMENT SYMBOL LEGEND**
- 1 ● RECOVERED NO. 3 REBAR
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 - ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

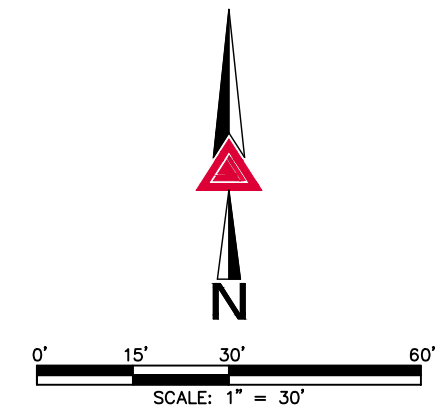


SEE SHEET 9
FOR LINE &
CURVE TABLES

SEE SHEET 3

SEE SHEET 4

FOR REVIEW



NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

AZTEC
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www.aztecconsultants.com

Aztec Proj. No.: 54820-02

Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 5 OF 9	

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 9

NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

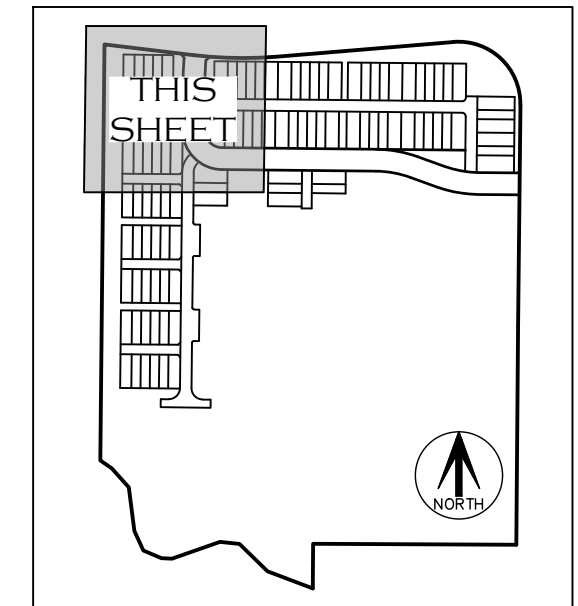
WEST 70TH AVENUE
(80' WIDE PUBLIC ROW)
BK 536 PG 315



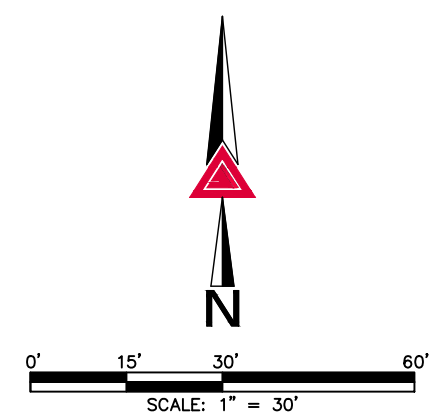
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- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

SEE SHEET 7



SEE SHEET 9
FOR LINE &
CURVE TABLES



FOR REVIEW

FOR AND ON BEHALF OF
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Drawn By: RBA

AzTec Proj. No.: 54820-02

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 6 OF 9	

SEE SHEET 5

MIDTOWN AT CLEAR CREEK - FILING NO. 12

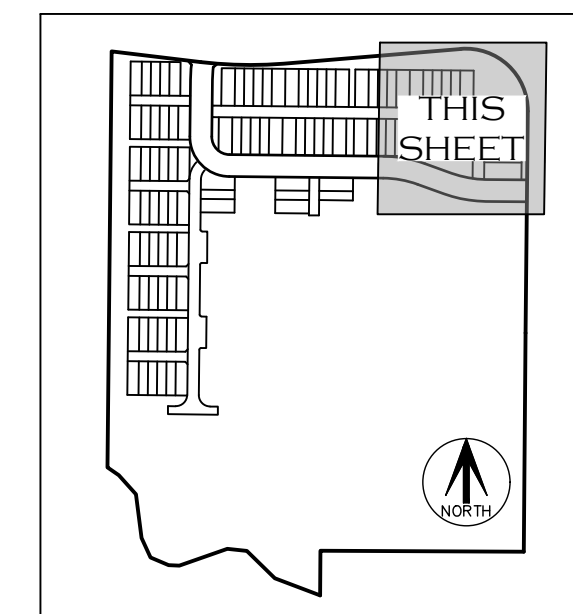
CASE NO. PRC
2020-0008

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TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 8 OF 9

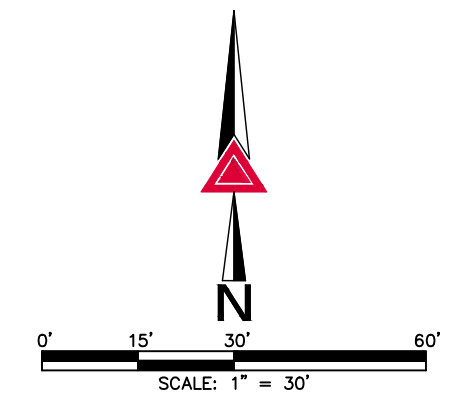
WEST 70TH AVENUE
(80' WIDE PUBLIC ROW)
BK 536 PG 315

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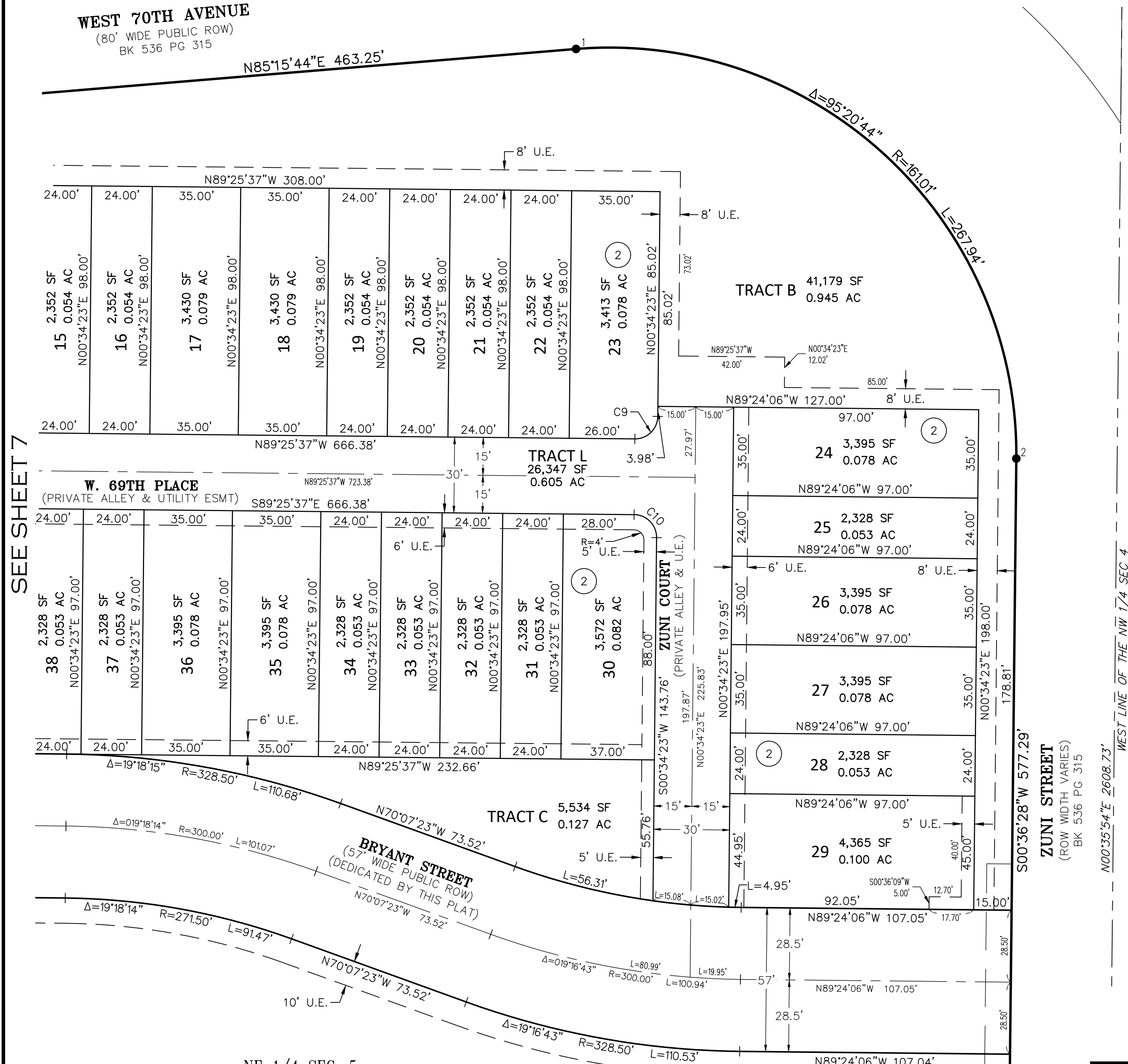


SEE SHEET 9
FOR LINE &
CURVE TABLES



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



SEE SHEET 7

NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

10' XCEL EASEMENT REC.
NO. 201800005760

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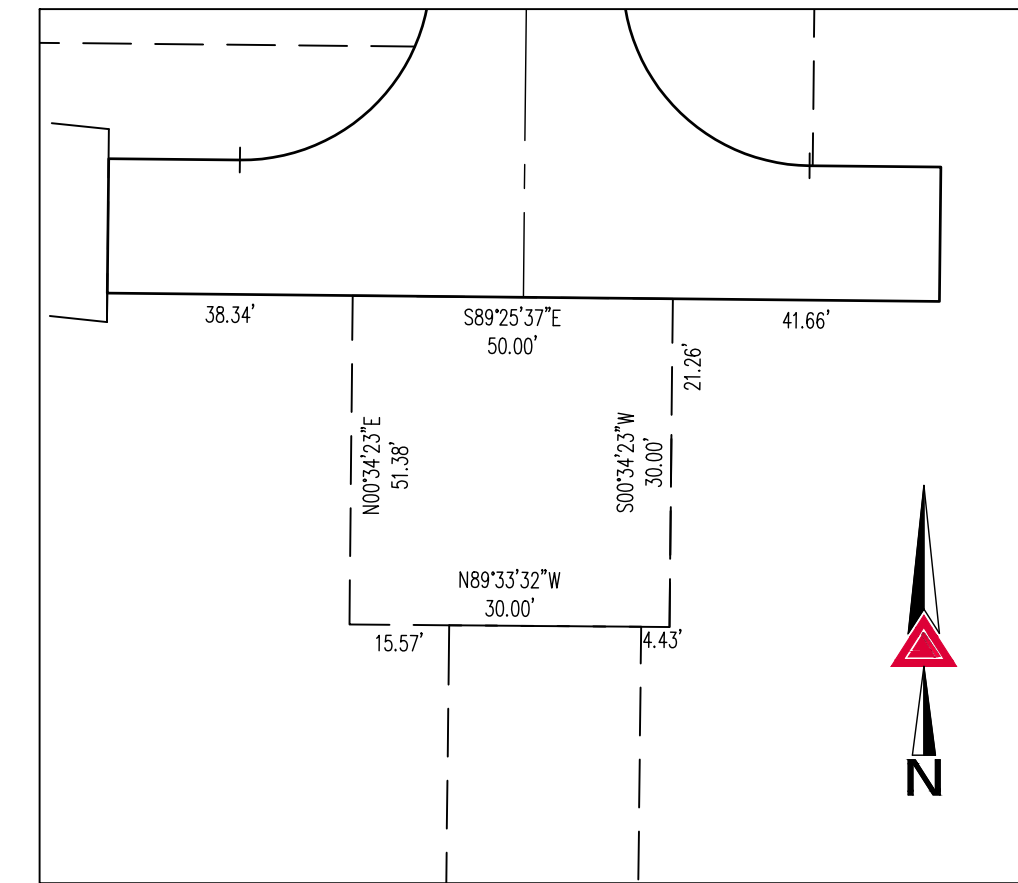
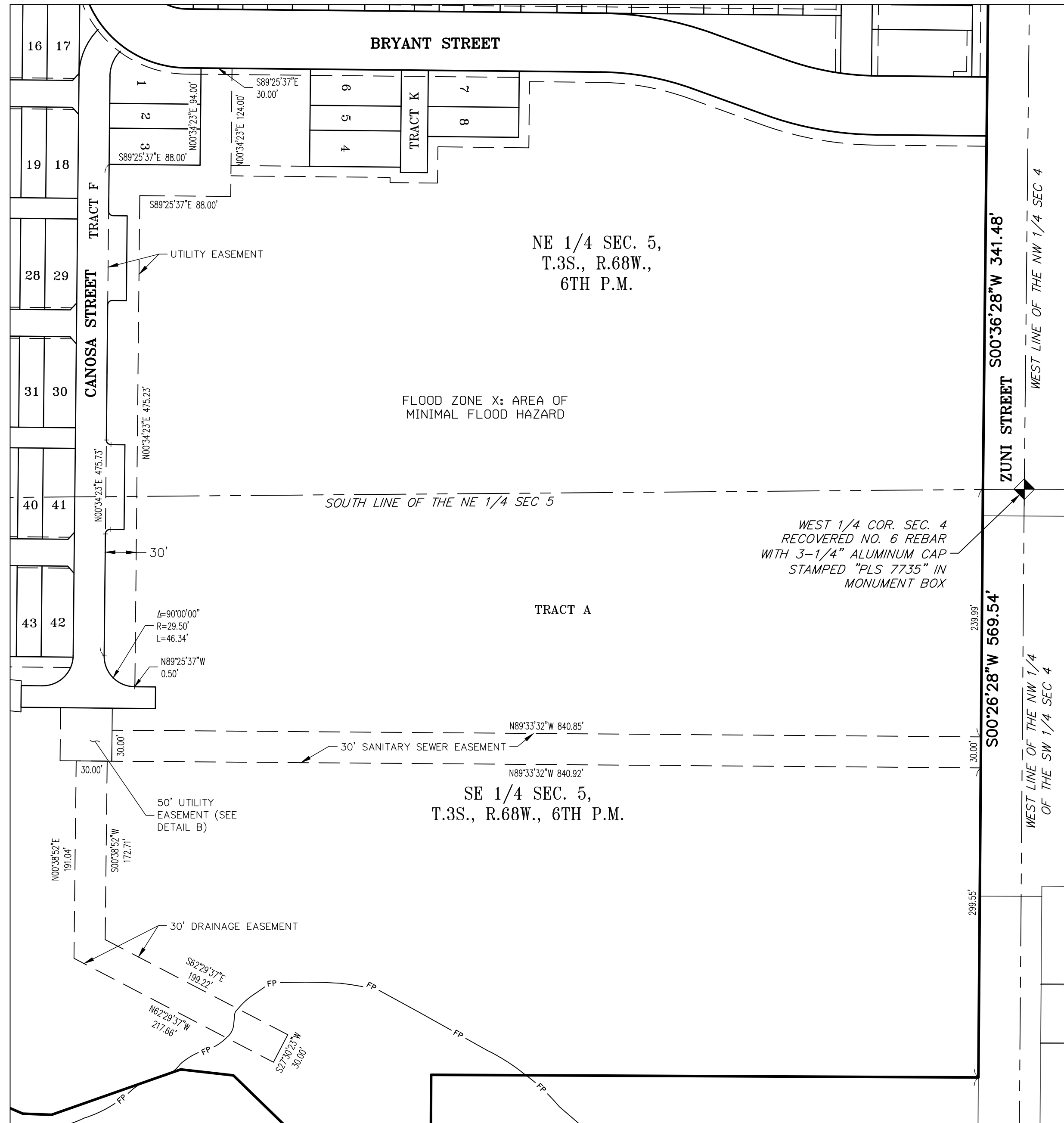
AzTec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 8 OF 9	

MIDTOWN AT CLEAR CREEK – FILING NO. 12

CASE NO. PRC
2020-0008

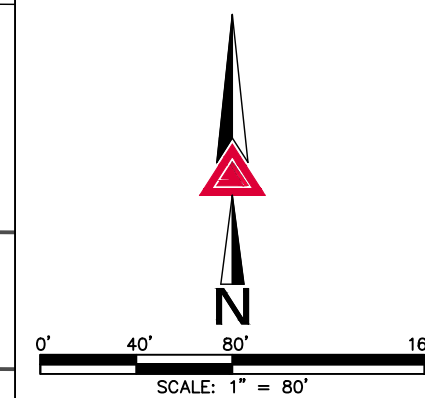
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 9 OF 9



DETAIL B
SCALE: 1" = 30'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N05°30'43"E	19.20'
L2	N44°25'38"E	32.61'
L3	S38°48'24"E	14.31'
L4	N05°30'43"E	9.87'
L5	N44°25'38"E	5.20'
L6	N44°25'38"E	5.20'
L7	S50°09'58"W	14.23'
L8	N05°30'43"E	9.03'
L9	N41°56'15"W	9.14'
L10	S43°05'00"W	9.14'
L11	N41°56'15"W	9.14'
L12	S43°05'00"W	9.14'
L13	N41°56'15"W	9.14'
L14	S43°05'00"W	9.14'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	4°56'21"	300.00'	25.86'
C2	43°51'15"	50.00'	38.27'
C3	4°56'21"	328.50'	28.32'
C4	43°51'15"	65.00'	49.75'
C5	43°51'15"	35.00'	26.79'
C6	4°56'21"	271.50'	23.40'
C7	18°44'58"	14.00'	4.58'
C8	18°44'58"	14.00'	4.58'
C9	90°00'00"	9.00'	14.14'
C10	90°00'00"	9.00'	14.14'



DETAIL A
SCALE: 1" = 80'

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

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AzTec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 80'
SHEET 9 OF 9	



DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature

September 21, 2022

Mr. Greg Barnes
Adams County – Public Works
4430 South Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601

Re: Midtown at Clear Creek – Filing 12 – Letter of Explanation Preliminary Plat

Dear Mr. Barnes,

Below is a summary of the various questions required to be included in the Letter of Explanation for the Midtown at Clear Creek Filing 12 Preliminary Plat submittal.

1. The Preliminary Plat is consistent and conforms to the approved preliminary plat.

Filing No. 12 of the Midtown at Clear Creek project is consistent and in general conformance with the Amended Preliminary Development Plan (APDP) and Preliminary Plat prepared and approved for the project.

2. The Preliminary Plat is in conformance with the subdivision design standards.

The Preliminary Plat is in conformance with the approved Amended Preliminary Development Plan (APDP) for the Midtown at Clear Creek project. Subdivision design standards not covered within the APDP follow Adams County design standards.

4. The applicant has provided reasonable evidence that a sufficient water supply has been acquired in terms of quantity, quality and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.

Filing No. 12 of the Midtown at Clear Creek community is located within the Crestview Water & Sanitation District. Please refer to the attached Will Serve letter from Crestview with regards to adequate water service.

5. The applicant has provided reasonable evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence that the system complies with state and local laws and regulations.

Filing No. 12 of the Midtown at Clear Creek community is located within the Crestview Water & Sanitation District. Please refer to the attached Will Serve letter from Crestview with regards to adequate public sewage disposal services.

6. The applicant has provided reasonable evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or

requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

Throughout the PDP, APDP and FDP process, soils, topographical and/or environmental conditions have been brought to the attention of the County as well as the surrounding community through neighborhood meetings. Based on the studies prepared, there is adequate evidence supporting the development of this community.

7. The proposed or constructed drainage improvements are adequate and comply with Adams County's standards and regulations.

The proposed drainage system for Filing No. 12 of Midtown at Clear Creek proposes improvements that will account for runoff generated by the development of the project and is in compliance with the Approved Phase III Drainage Study for Midtown Filing 6. Please refer to the Final Drainage Study prepared for Filing No. 6, which illustrates the proposed drainage improvements for this phase of Midtown. The Drainage Conformance Memorandum prepared for Filing No. 12 also includes an explanation of the drainage patterns and criteria for the site.

8. Significant cultural, archaeological, natural/historical resources and unique landforms will be reasonably protected in accordance with resources inventory provisions of these standards and regulations.

No significant cultural, archaeological, natural/historical resources and unique landforms will be protected in accordance with resources inventory provisions of these standards and regulations.

9. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

A Subdivision Improvement Agreement (SIA) for Filing No. 12 of the Midtown at Clear Creek project will be provided as part of the final plat application, and will reasonably support the cost of construction for public infrastructure constructed for the project.

Sincerely,



Evan Rumney, P.E.
Project Manager

MIDTOWN AT CLEAR CREEK – FILING NO. 12

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 9

NOTES

1. BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SIXTEENTH CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.
2. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
4. AZTEC CONSULTANTS, INC. HAS RELIED UPON TITLE COMMITMENT REPORT ORDER NUMBER N0026406-010-T02-KR1 PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, EFFECTIVE DATE MARCH 5, 2020 AT 8:00 A.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.
5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
6. 6-FOOT WIDE UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.
7. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 (CCSMD NO. 1) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH CCSMD NO. 1, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN AND LANDSCAPE TRACT BETWEEN FRONT PROPERTY LINE AND STREET SHALL BE THE PRIMARY RESPONSIBILITY OF THE HOMEOWNER UNDER THE REQUIREMENTS OF THE CCSMD NO. 1 COVENANTS. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS. HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.
8. BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" AND A PORTION LIES WITHIN ZONE AE, BEING DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD" SAID ZONE AE LIMITS AS SHOWN HEREON. LETTER OF MAP REVISION (LOMR) WAS ISSUED FOR THE FLOODPLAIN BOUNDARIES OF THE BASE FLOOD ON FEBRUARY 14, 2019, CASE NO. 18-08-0635P AND LETTER OF MAP REVISION (LOMR) WAS ISSUED FOR THE FLOODPLAIN BOUNDARIES OF THE BASE FLOOD ON NOVEMBER 27, 2020, CASE NO. 19-08-0665P. FLOODPLAIN BOUNDARIES ARE ILLUSTRATED ON SHEET 3.
9. A PORTION OF THIS PLAT IS SUBJECT TO AN ENVIRONMENTAL COVENANT AS RECORDED AUGUST 10, 2007, UNDER RECEPTION NO. 2007000077016.
10. ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.

PRELIMINARY PLAT

ADDRESS TABLE

BLOCK 1		BLOCK 2		BLOCK 3	
LOT	ADDRESS	LOT	ADDRESS	LOT	ADDRESS
1	2677 W. 69th Dr.	1	2643 W. 69th Place	1	6880 Canosa St.
2	2671 W. 69th Dr.	2	2635 W. 69th Place	2	6886 Canosa St.
3	2665 W. 69th Dr.	3	2627 W. 69th Place	3	6894 Canosa St.
4	2659 W. 69th Dr.	4	2619 W. 69th Place	4	6855 Bryant Ct.
5	2653 W. 69th Dr.	5	2611 W. 69th Place	5	6863 Bryant Ct.
6	2654 W. 69th Dr.	6	2603 W. 69th Place	6	6877 Bryant Ct.
7	2660 W. 69th Dr.	7	2597 W. 69th Place	7	6864 Bryant Ct.
8	2666 W. 69th Dr.	8	2585 W. 69th Place	8	6852 Bryant Ct.
9	2672 W. 69th Dr.	9	2571 W. 69th Place		
10	2678 W. 69th Dr.	10	2563 W. 69th Place		
11	2684 W. 69th Dr.	11	2555 W. 69th Place		
12	2679 W. 68th Dr.	12	2547 W. 69th Place		
13	2673 W. 68th Dr.	13	2539 W. 69th Place		
14	2667 W. 68th Dr.	14	2531 W. 69th Place		
15	2661 W. 68th Dr.	15	2523 W. 69th Place		
16	2655 W. 68th Dr.	16	2515 W. 69th Place		
17	2649 W. 68th Dr.	17	2507 W. 69th Place		
18	2650 W. 68th Dr.	18	2491 W. 69th Place		
19	2658 W. 68th Dr.	19	2475 W. 69th Place		
20	2664 W. 68th Dr.	20	2459 W. 69th Place		
21	2670 W. 68th Dr.	21	2443 W. 69th Place		
22	2676 W. 68th Dr.	22	2427 W. 69th Place		
23	2682 W. 68th Dr.	23	2411 W. 69th Place		
24	2681 W. 68th PL.	24	6884 Zuni Ct		
25	2675 W. 68th PL.	25	6878 Zuni Ct		
26	2669 W. 68th PL.	26	6874 Zuni Ct		
27	2663 W. 68th PL.	27	6868 Zuni Ct		
28	2657 W. 68th PL.	28	6864 Zuni Ct		
29	2651 W. 68th PL.	29	6860 Zuni Ct		
30	2656 W. 68th PL.	30	2404 W. 69th Place		
31	2662 W. 68th PL.	31	2420 W. 69th Place		
32	2668 W. 68th PL.	32	2436 W. 69th Place		
33	2674 W. 68th PL.	33	2452 W. 69th Place		
34	2680 W. 68th PL.	34	2468 W. 69th Place		
35	2686 W. 68th PL.	35	2484 W. 69th Place		
36	2677 W. 67th PL.	36	2502 W. 69th Place		
37	2671 W. 67th PL.	37	2510 W. 69th Place		
38	2665 W. 67th PL.	38	2518 W. 69th Place		
39	2659 W. 67th PL.	39	2526 W. 69th Place		
40	2653 W. 67th PL.	40	2534 W. 69th Place		
41	2647 W. 67th PL.	41	2542 W. 69th Place		
42	2652 W. 67th PL.	42	2560 W. 69th Place		
43	2658 W. 67th PL.	43	2568 W. 69th Place		
44	2664 W. 67th PL.	44	2576 W. 69th Place		
45	2670 W. 67th PL.	45	2584 W. 69th Place		
46	2676 W. 67th PL.	46	2592 W. 69th Place		
47	2682 W. 67th PL.	47	2606 W. 69th Place		
		48	2614 W. 69th Place		
		49	2622 W. 69th Place		
		50	2630 W. 69th Place		
		51	2638 W. 69th Place		
		52	2646 W. 69th Place		

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

	DATE OF PREPARATION:	2021-12-28
	SCALE:	N/A
AzTec Proj. No.: 54820-02		SHEET 2 OF 9

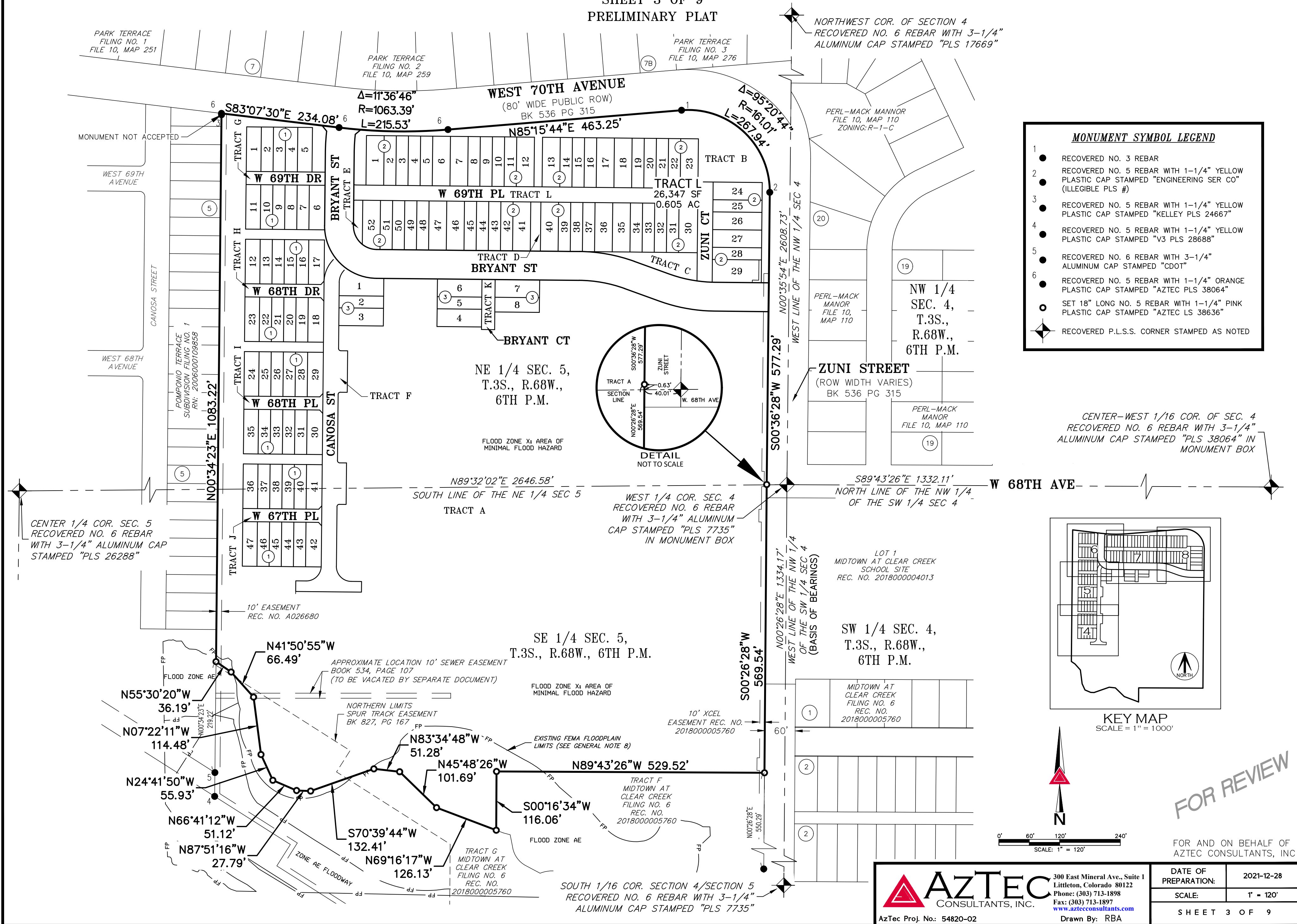
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
Drawn By: RBA

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

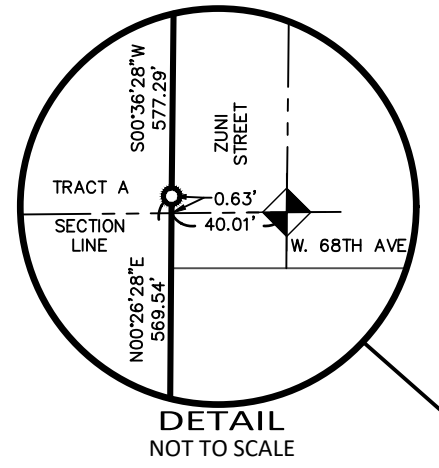
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 3 OF 9
PRELIMINARY PLAT

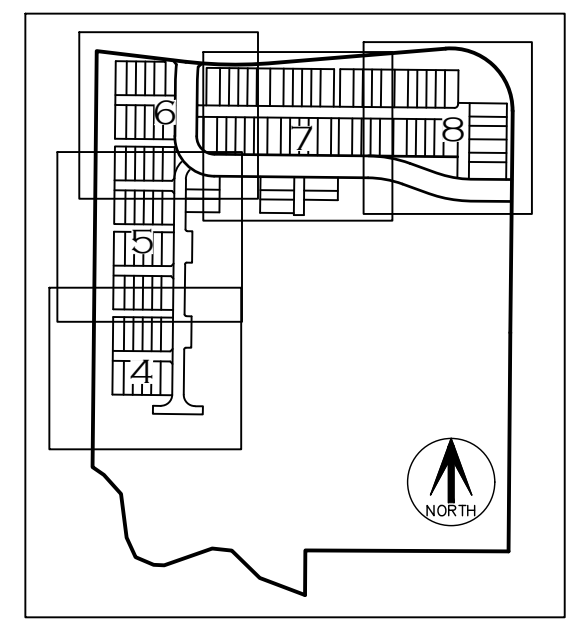


MONUMENT SYMBOL LEGEND

- 1 ● RECOVERED NO. 3 REBAR
- 2 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- 3 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- 4 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- 5 ● RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- 6 ● RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED



CENTER-WEST 1/16 COR. OF SEC. 4
RECOVERED NO. 6 REBAR WITH 3-1/4"
ALUMINUM CAP STAMPED "PLS 38064" IN
MONUMENT BOX



FOR REVIEW

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AzTec Proj. No.: 54820-02

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 120'
SHEET 3 OF 9	

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

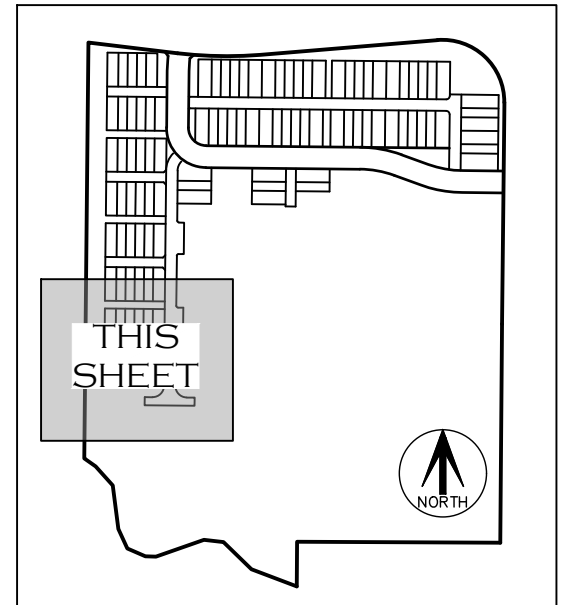
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SHEET 4 OF 9
PRELIMINARY PLAT

SEE SHEET 5

MONUMENT SYMBOL LEGEND

- RECOVERED NO. 3 REBAR
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED



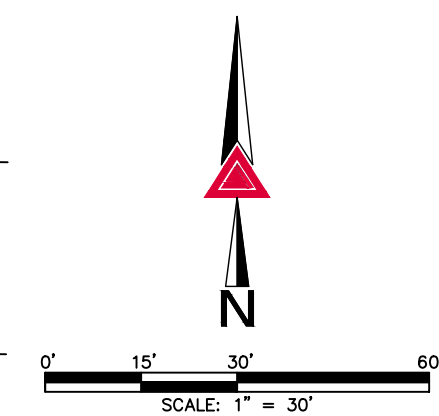
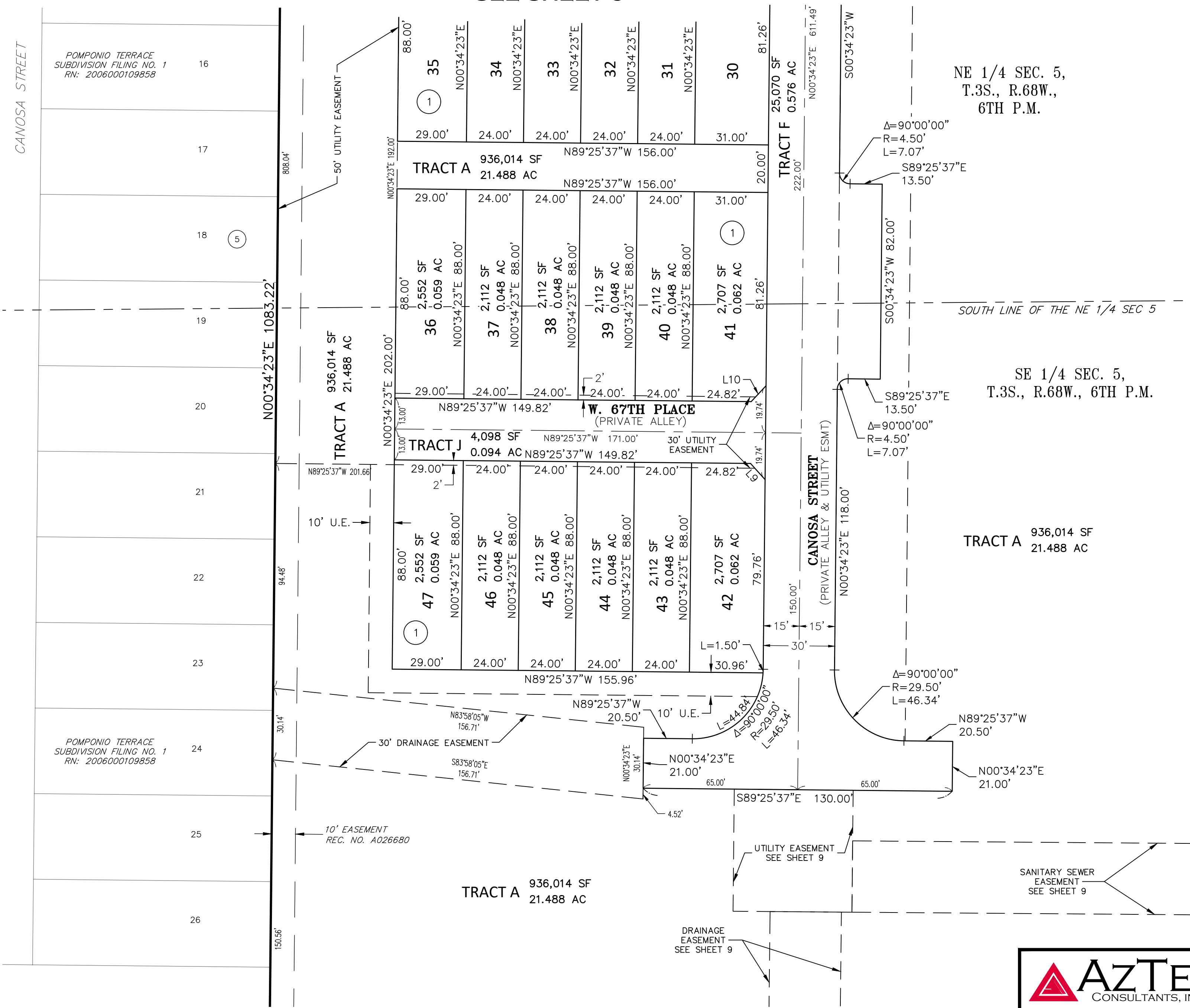
KEY MAP
SCALE = 1" = 1000'

SEE SHEET 9
FOR LINE &
CURVE TABLES

SEE SHEET 3

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



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AzTec Proj. No.: 54820-02

Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 4 OF 9	

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

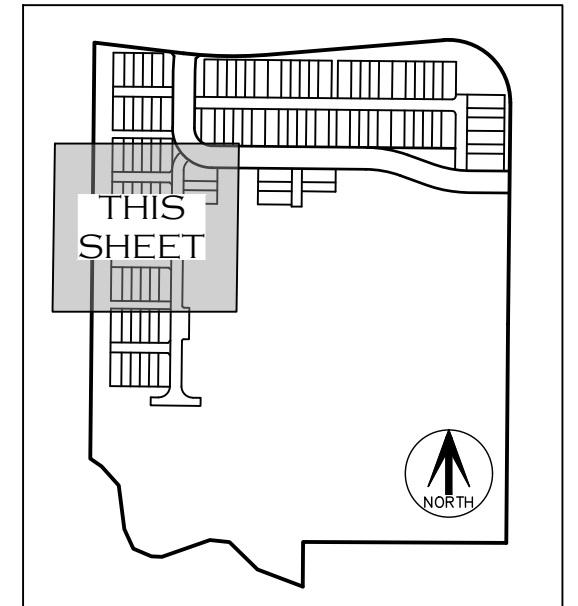
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TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SEE SHEET 6 SHEET 5 OF 9
PRELIMINARY PLAT



MONUMENT SYMBOL LEGEND

- 1 ● RECOVERED NO. 3 REBAR
- 2 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- 3 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- 4 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- 5 ● RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- 6 ● RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED

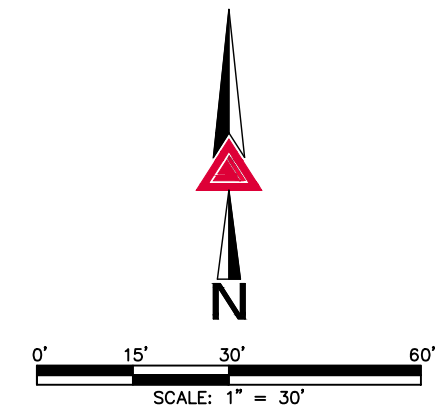


SEE SHEET 9
FOR LINE &
CURVE TABLES

SEE SHEET 3

SEE SHEET 4

NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.



FOR REVIEW

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Aztec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 5 OF 9	

MIDTOWN AT CLEAR CREEK - FILING NO. 12

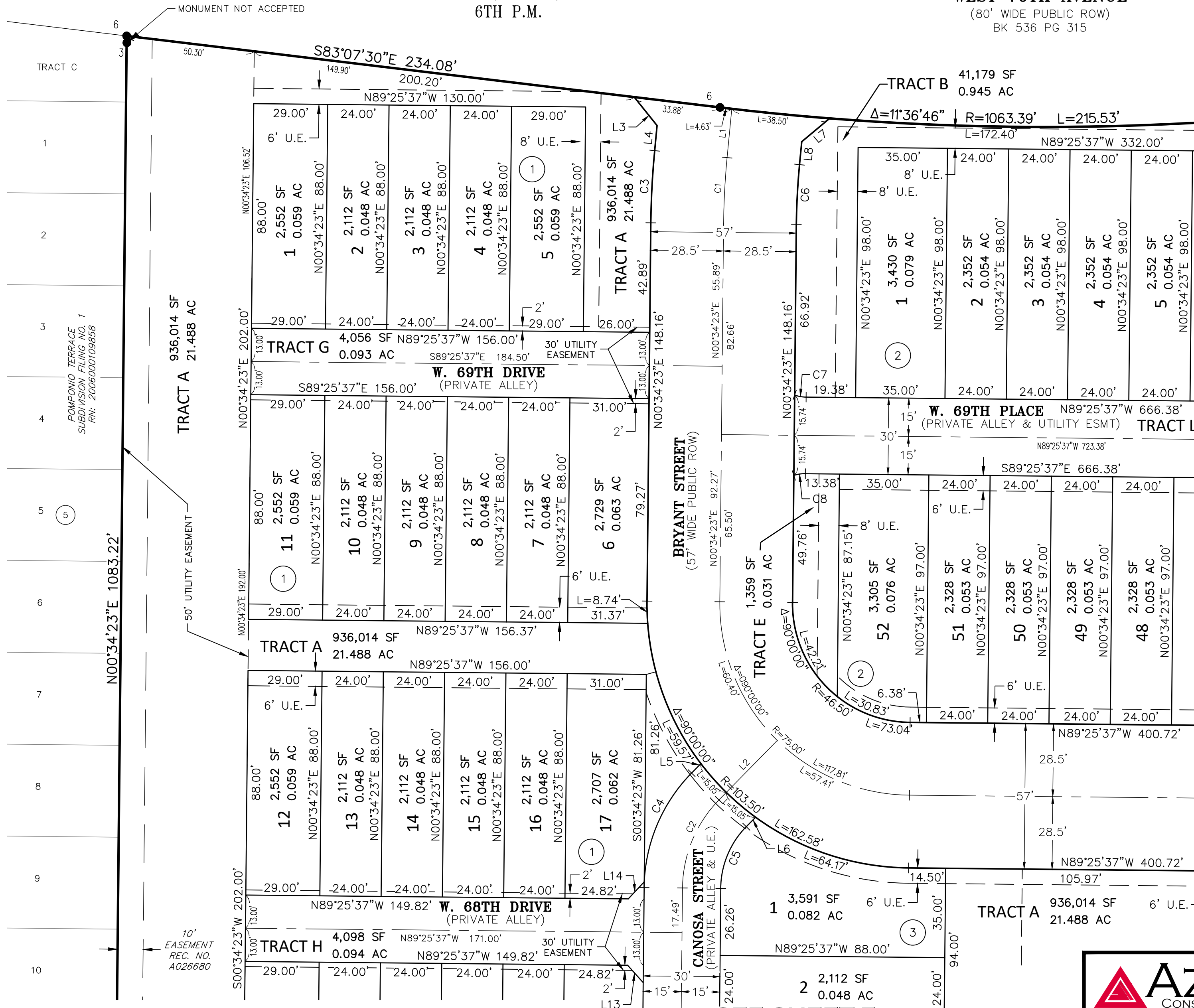
CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 6 OF 9
PRELIMINARY PLAT

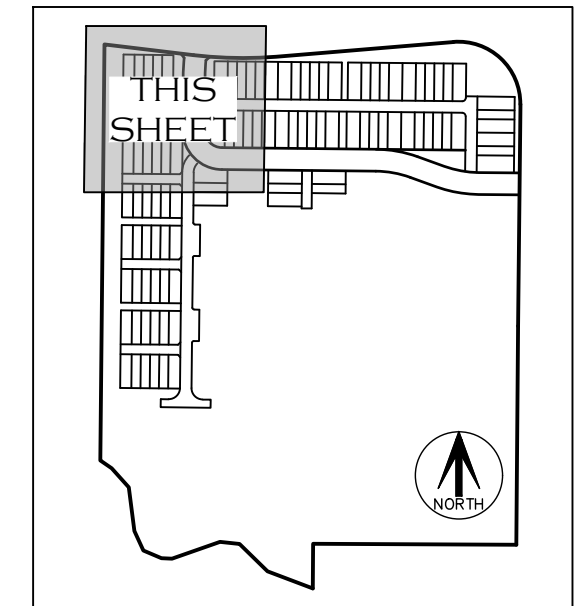
NE 1/4 SEC. 5,
T.3S., R.68W.,
6TH P.M.

WEST 70TH AVENUE
(80' WIDE PUBLIC ROW)
BK 536 PG 315



MONUMENT SYMBOL LEGEND

- 1 ● RECOVERED NO. 3 REBAR
- 2 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- 3 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- 4 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- 5 ● RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- 6 ● RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED



SEE SHEET 7

SEE SHEET 9
FOR LINE &
CURVE TABLES

FOR REVIEW

FOR AND ON BEHALF OF
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AzTec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 6 OF 9	

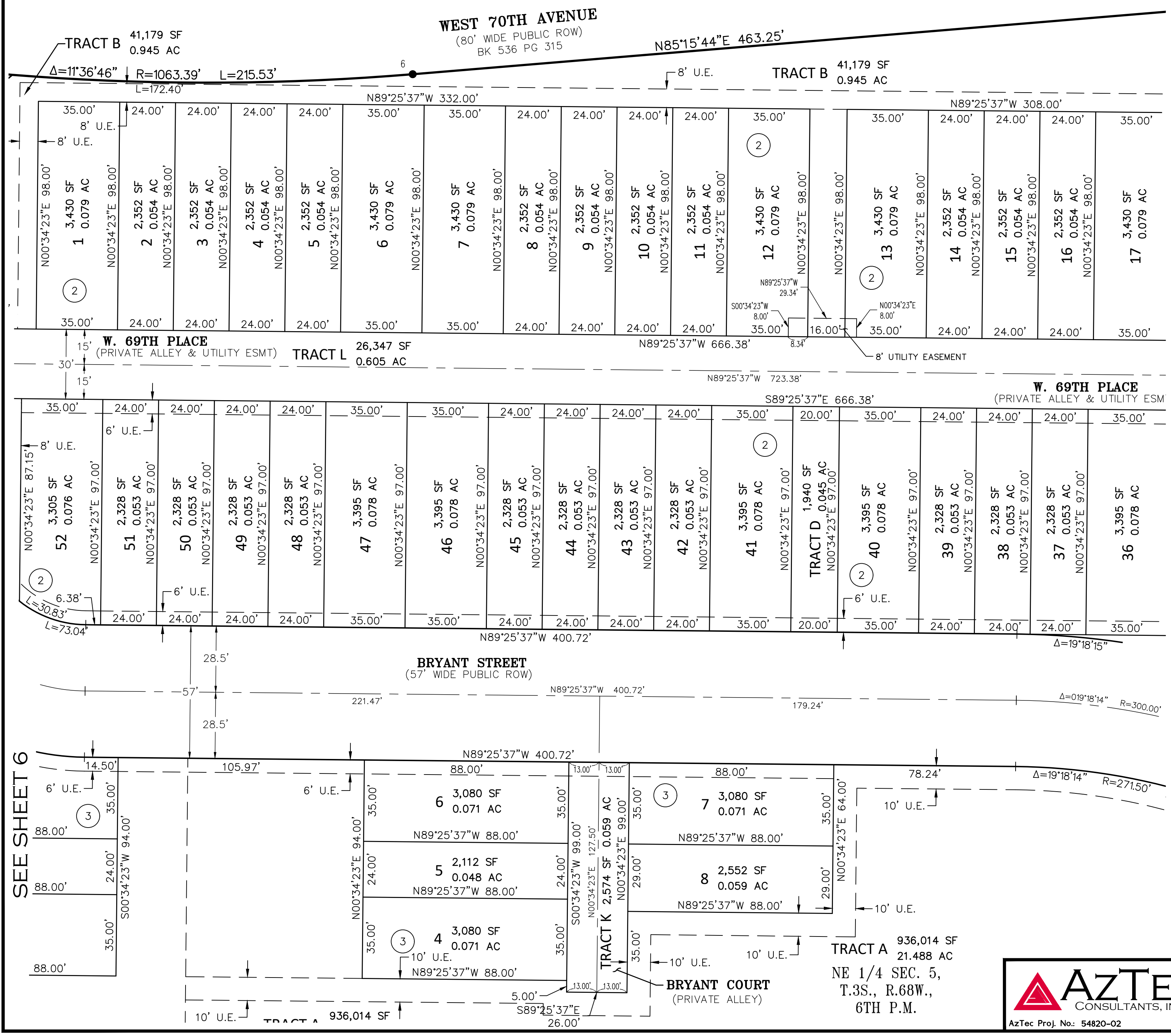
SEE SHEET 5

MIDTOWN AT CLEAR CREEK - FILING NO. 12

CASE NO. PRC
2020-0008

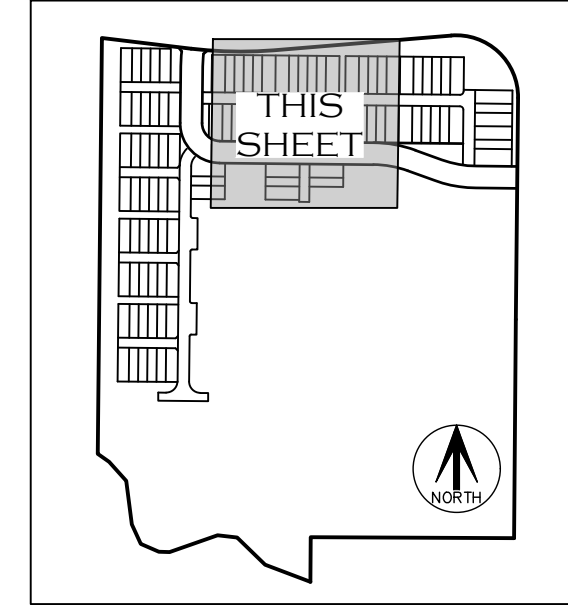
A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN THE EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 7 OF 9
PRELIMINARY PLAT



MONUMENT SYMBOL LEGEND

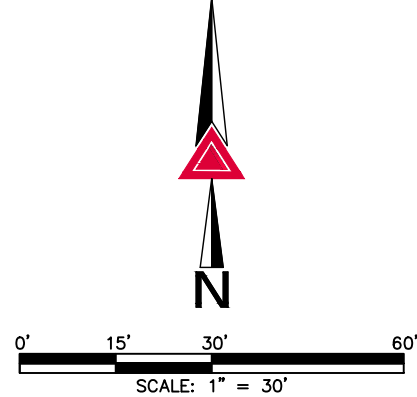
- 1 ● RECOVERED NO. 3 REBAR
- 2 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- 3 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- 4 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- 5 ● RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
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- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED



SEE SHEET 9
FOR LINE &
CURVE TABLES

SEE SHEET 8

FOR REVIEW



FOR AND ON BEHALF OF
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Drawn By: RBA

AzTec Proj. No.: 54820-02

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 7 OF 9	

MIDTOWN AT CLEAR CREEK - FILING NO. 12

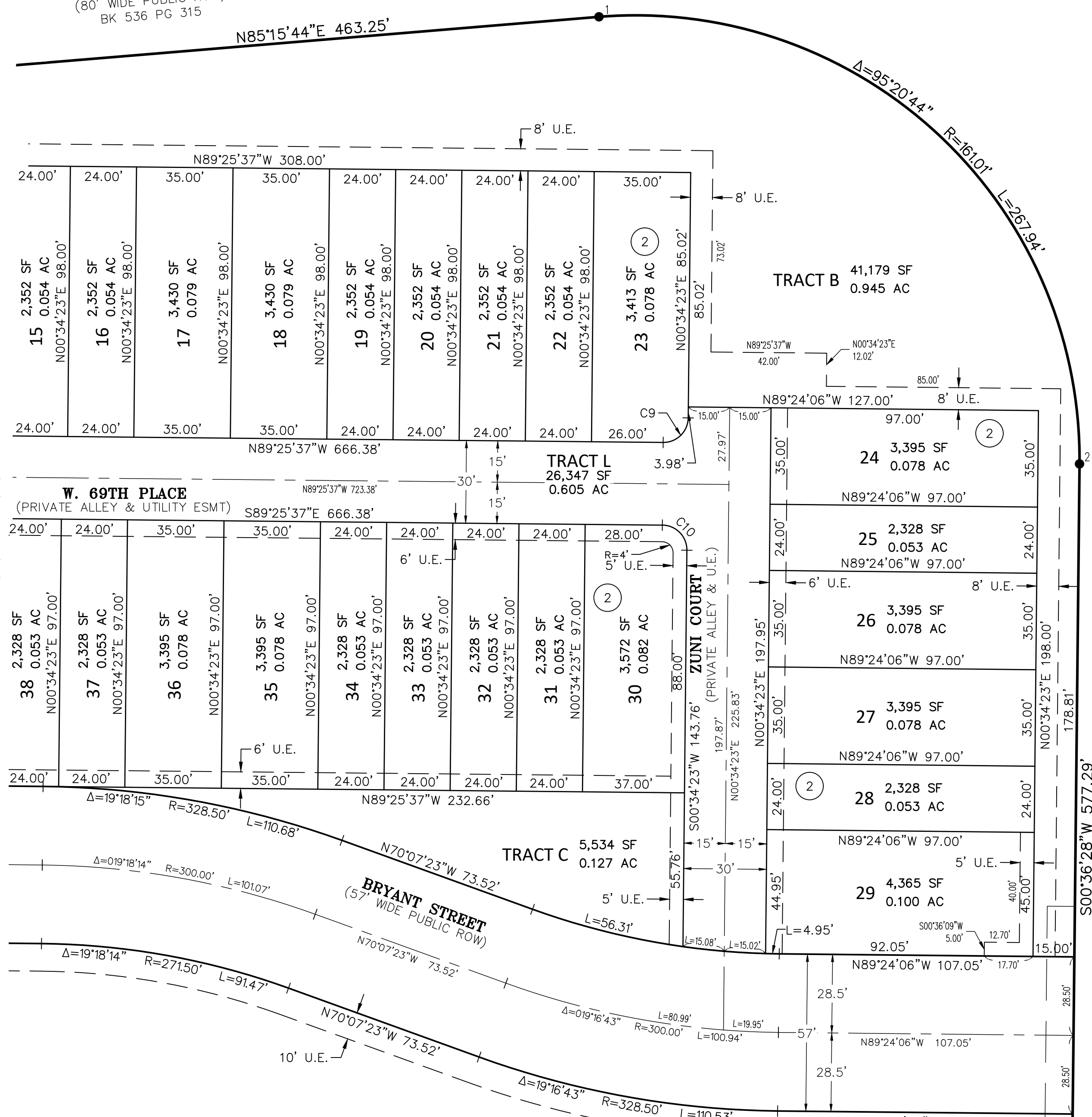
CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK - FILING NO. 6 SITUATED IN EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 8 OF 9
PRELIMINARY PLAT

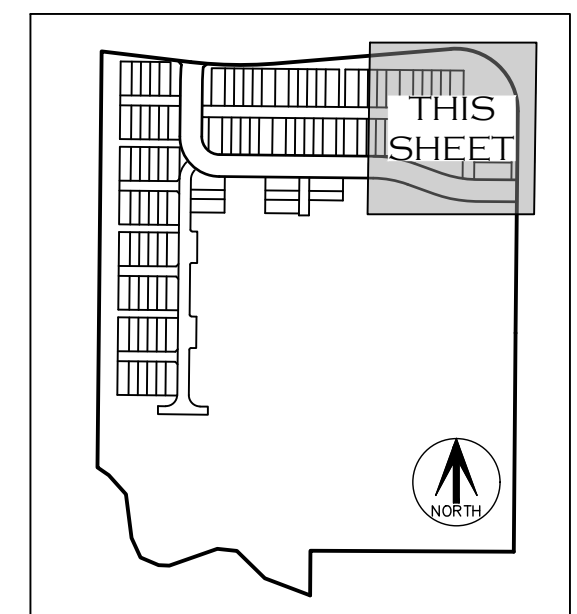
WEST 70TH AVENUE
(80' WIDE PUBLIC ROW)
BK 536 PG 315

SEE SHEET 7

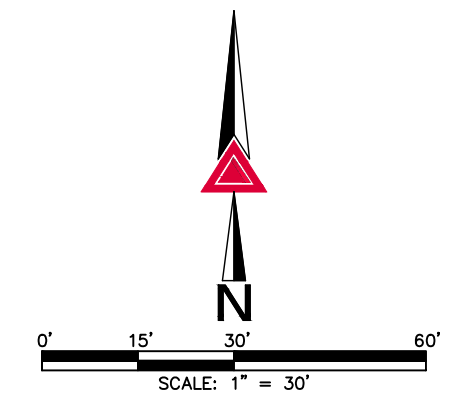


MONUMENT SYMBOL LEGEND

- RECOVERED NO. 3 REBAR
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC LS 38636"
- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED



SEE SHEET 9
FOR LINE &
CURVE TABLES



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

AZTEC
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No.: 54820-02
Drawn By: RBA

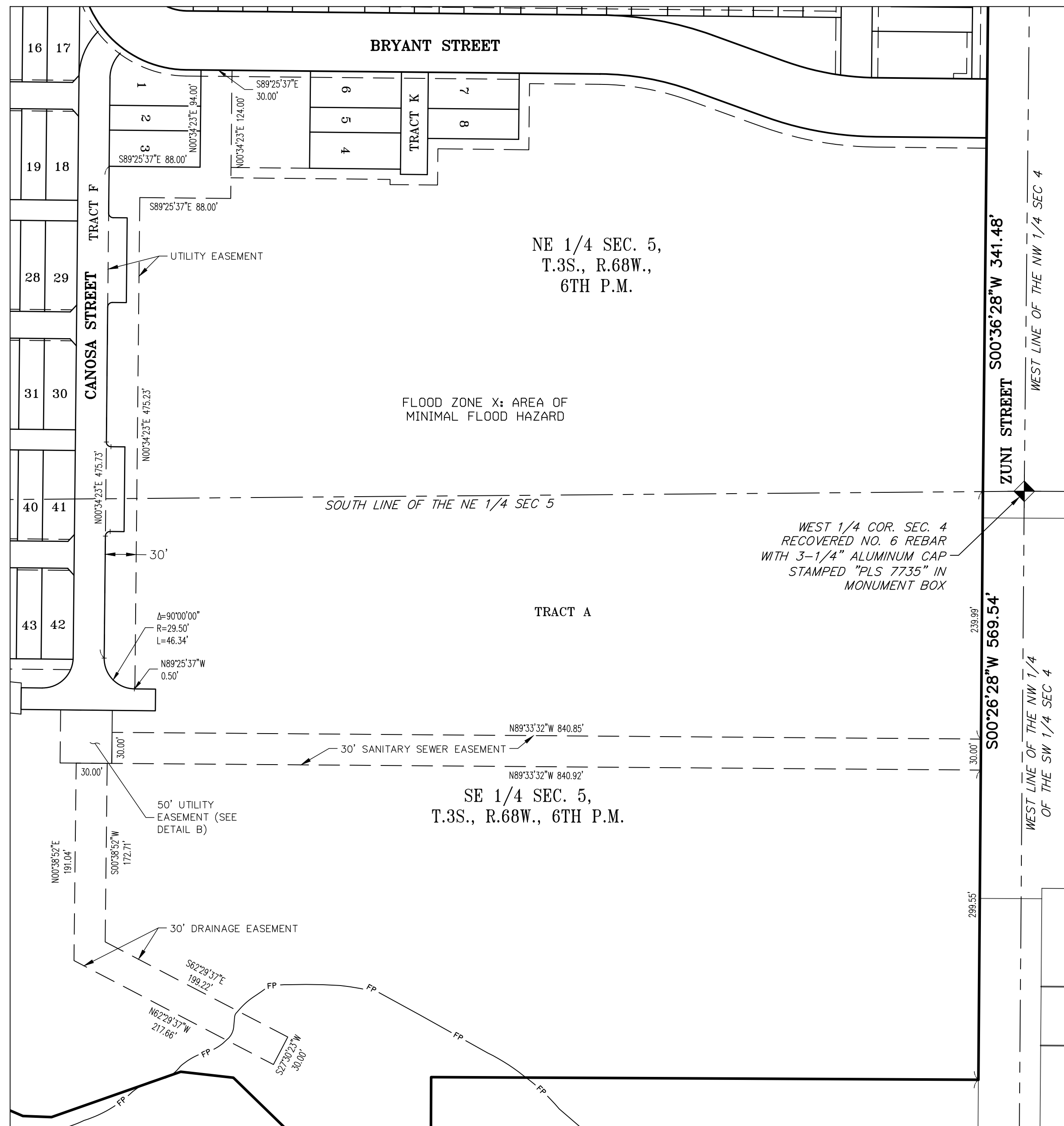
DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 30'
SHEET 8 OF 9	

MIDTOWN AT CLEAR CREEK – FILING NO. 12

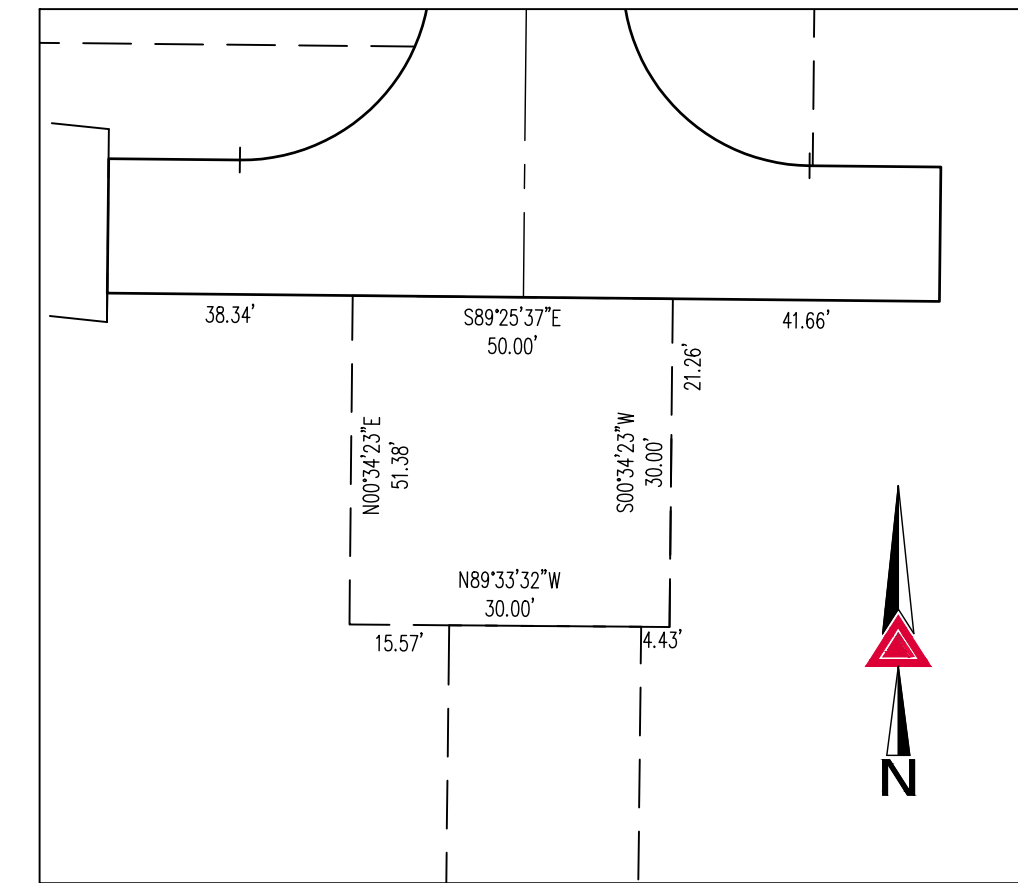
CASE NO. PRC
2020-0008

A REPLAT OF LOT 1, BLOCK 4, MIDTOWN AT CLEAR CREEK – FILING NO. 6 SITUATED IN EAST HALF OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 9 OF 9
PRELIMINARY PLAT



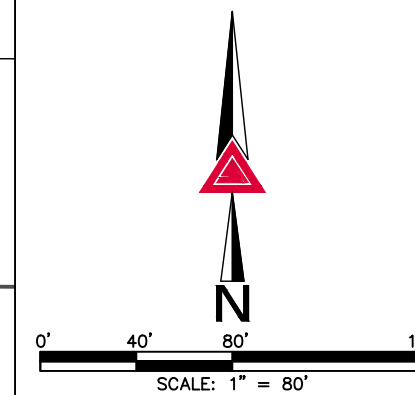
DETAIL A
SCALE: 1" = 80'



DETAIL B
SCALE: 1" = 30'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N05°30'43"E	19.20'
L2	N44°25'38"E	32.61'
L3	S38°48'24"E	14.31'
L4	N05°30'43"E	9.87'
L5	N44°25'38"E	5.20'
L6	N44°25'38"E	5.20'
L7	S50°09'58"W	14.23'
L8	N05°30'43"E	9.03'
L9	N41°56'15"W	9.14'
L10	S43°05'00"W	9.14'
L11	N41°56'15"W	9.14'
L12	S43°05'00"W	9.14'
L13	N41°56'15"W	9.14'
L14	S43°05'00"W	9.14'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	4°56'21"	300.00'	25.86'
C2	43°51'15"	50.00'	38.27'
C3	4°56'21"	328.50'	28.32'
C4	43°51'15"	65.00'	49.75'
C5	43°51'15"	35.00'	26.79'
C6	4°56'21"	271.50'	23.40'
C7	18°44'58"	14.00'	4.58'
C8	18°44'58"	14.00'	4.58'
C9	90°00'00"	9.00'	14.14'
C10	90°00'00"	9.00'	14.14'



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AzTec Proj. No.: 54820-02
Drawn By: RBA

DATE OF PREPARATION:	2021-12-28
SCALE:	1" = 80'
SHEET 9 OF 9	

**School Impact Analysis
Midtown at Clear Creek – Filing Twelve
Preliminary Plat**

September 20, 2022

Student Generation Calculations

The proposed Midtown at Clear Creek Filing Twelve Development Plan includes the following general estimate for student generation. Student quantities for Filing Four are based on 107 single family attached residential units.

Midtown at Clear Creek - Student Generation Calculations

	Homes	Population Multiplier (P/HH)	Population	Student Generation Multiplier (S/HH)	Students (total)	Elementary Students (50%)	Middle School Students (25%)	High School Students (25%)
Townhome	107	2.216	238	0.303	73	37	18	18

*P/HH: Persons per House Hold

*S/HH: Students per House Hold

Included in the overall Midtown at Clear Creek master plan is an approximately 5-acre school site. This site was recently developed and is now Trailside Academy and part of the Mapleton School District.

Existing Mapleton School District Schools:

Mapleton schools located nearest the site include: Trailside Academy (K-8), Adventure Elementary at Western Hills (K-6), Welby Montessori (PK-6), Valley View (K-8), New America Charter School (9-12) and Global Leadership Academy (K-12) & Mapleton Early College (9-13). These schools cover the entire age range of students; however the School District has a progressive approach to education and has a somewhat open enrollment option for families. Students will potentially have options for choosing their school(s).

Below is a full listing of schools in the District and their locations:

Academy High School (9- 12)
8970 York Street
Thornton, CO 80229
303-853-1730

Trailside Academy (K-8)
2300 W. 67th Dr.
Denver, CO 80221
303-853-3050

Achieve Academy at Bertha Heid (PK-8)
9100 Poze Blvd.
Thornton, CO 80229
303-853-1300

Meadow Community School (PK-8)
9150 Monroe Street
Thornton, CO 80229
303-853-1500

Adventure Elementary at Western Hills (PK-6)
7700 Delta Street
Denver, CO 80221

Monterey Community School (PK-8)
2201 McElwain Blvd.
Denver, CO 80229

303-853-1410

Clayton Partnership School (K-8)
8970 York St.
Thornton, CO 80229
303-853-1460

Colorado Connections Academy
Online K-12
1-800-382-6010
<http://www.connectionsacademy.com>

Explore Elementary (PK-6)
2410 Poze Blvd.
Thornton, CO 80229
303-853-1170

Global Leadership Academy (PK-12)
7480 Conifer Road
Denver, CO 80221
303-853-1930

Mapleton Early College High School (9-13)
8980 York St.
Thornton, CO 80229
Phone: (303) 853-1960

303-853-1360

North Valley School for Young Adults
8990 York St.
Thornton, CO 80229
303-853-1790

Valley View (K-8)
660 West 70th Avenue
Denver, CO 80221
303-853-1560

Welby Montessori School (PK-6)
1200 E. 78th Avenue
Denver, CO 80229
303-853-1700

York International School (K-12)
9200 York Street
Thornton, CO 80229
303-853-1600

Mapleton Expeditionary School of the
(7-12)
8980 York Street
Thornton, CO 80229
303-853-1270

Fire Protection Report

Midtown at Clear Creek - Filing 12
Adams County

Prepared for:

Brookfield Residential (Colorado), Inc.
6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
Tel: 303.706.9451
Fax: 303.706.9453
Contact: Mrs. Anastasia Urban

Prepared by:



Redland

WHERE GREAT PLACES BEGIN

720.283.6783 Office
1500 West Canal Court
Littleton, Colorado 80120

REDLAND.COM

February 15, 2022

Project No. 10015.23

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D.	Existing Utility Layout	
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General Location and Description

A. Location

The Midtown at Clear Creek community (hereafter referred to as the “Site”) is bound by 70th Avenue to the north, Clear Creek drainage way and industrial land uses to the south, Colorado Southern Railroad and Little Dry Creek to the southwest, and Kalcevic Gulch to the east. The Site is also bisected by Pecos Street.

The Site is located in the south half of Sections 4, Township 3 South, Range 68 West of the 6th Principal Meridian, in Unincorporated Adams County, State of Colorado.

Filing 12 is more specifically located near the southwest corner of W. 70th Avenue and Zuni Street. Filing 12 is bound by W. 68th Ave. and future park space to the south, Zuni Street to the east, Canosa Street to the west, and W. 70th Avenue to the north.

B. Description of Property

The overall Midtown project consists of approximately 182 acres. The Site was formerly operated by Hamilton Sundstrand.

The proposed development of the Site is planned around a new urbanism design concept which incorporates a more pedestrian friendly neighborhood area as well as commercial retail/office space. The proposed land use for the Site shall consist of up to 1,208 units. This will include approximately 420 apartment/condominium units with the remaining units being a mixture of front loaded single-family homes, alley loaded single-family homes, duplexes and townhomes. In addition to the residential and commercial uses on this property, a 5 acre tract will be dedicated to the Mapleton School District at the southeast corner of W. 68th Avenue and Zuni Street for a future school site.

Filing 12 consists of approximately 11.2 acres. The portion of Filing 12 to be constructed as shown on the Filing 12 construction plans will include 107 single-family (attached) units.

Emergency Access

Fire Access Roads

Fire apparatus access road widths meeting the requirements of the International Fire Code (2018 Edition) are proposed throughout the development to provide access to proposed buildings/structures on the Site. Public and Private roads have been designed to meet these requirements to access all portions of the proposed buildings within 150 feet of the exterior walls measured to the first story of the building as required per the fire code. Please refer to Appendix B for the Proposed Street Sections that are consistent with the Administrative Agreement / Development Agreement (AADA)).

In accordance with the 2018 International Fire Code section 503.2.4, all on-site roads and entrances to the development will be designed to provide adequate turning radii and conform to

minimum turning radii requirements per Adams County Standards and Specifications. Fire access exhibits will be prepared and submitted with future Filing 12 (FDP) and Final Plat submittals. These exhibits will utilize the ladder truck dimensions and turning radius information provided by the Southwest Adams County Fire District to provide adequate turning radii for fire trucks. These exhibits will be prepared using “AutoTurn” software.

Dead Ends

Dead-End fire apparatus access roads in excess of 150 feet in length will be designed with a minimum 60-foot turn around and 120-foot hammerhead in accordance with section D103.4 of the Fire Code. There are no dead ends proposed over 750 feet in length. Dead ends in excess of 150 feet where fire apparatus access has not been provided within proposed private alleys meet the 150 distance requirement from the surrounding or adjacent public street which meets the fire access requirement.

**TABLE D103.4
REQUIREMENTS FOR DEAD-END FIRE
APPARATUS ACCESS ROADS**

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0–150	20	None required
151–500	20	120-foot Hammerhead, 60-foot “Y” or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
501–750	26	120-foot Hammerhead, 60-foot “Y” or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
Over 750	Special approval required	

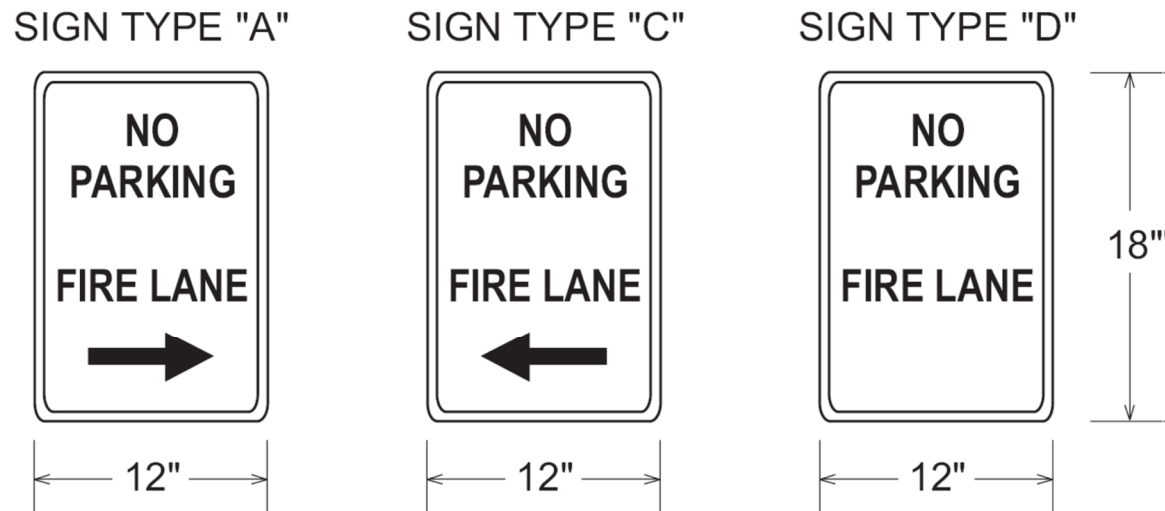
Aerial Apparatus Access

Per the International Fire Code as amended (section 503.2.1.1), buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with at least one approved fire apparatus access road capable of accommodating fire department aerial apparatus during firefighting operations. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. Per the International Fire Code as amended (Section 503.2.1.1.1), designated aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet. Private alleys providing aerial fire apparatus access will have a paved width also of 26 feet.

Per the International Fire Code as amended (503.2.1.1.2), the centerline of designated aerial fire apparatus access roads shall be located no less than 15 feet from the roofline of the building, and shall be positioned parallel to the longest side of the building unless as otherwise approved. The maximum distance shall allow a 65 –foot ladder to reach the roof of the building, where the base of the ladder is 8 feet above the ground.

Access Signage

Fire apparatus access roads will be permanently signed and/or marked “NO PARKING-FIRE LANE” in accordance with municipal sign/traffic standards and the following specifications:



**FIGURE D103.6
FIRE LANE SIGNS**

- A. There will be no parking for a distance of 15 feet on either side of a fire hydrant.
- B. Access roads at least 26 feet wide but less than 32 feet wide will be marked as fire lanes on both sides of the road.

Water Supply and Distribution

Water Service Provider

All water for the Midtown at Clear Creek community will be supplied by the Crestview Water and Sanitation District and the North Pecos Water and Sanitation District. Filing 12 will be served by the Crestview Water and Sanitation District. For the portions of the project west of Pecos Street water service will be provided by the Crestview Water and Sanitation District. The district currently owns, maintains and operates one 16” waterline along 70th Avenue from Canosa Street to the east through Zuni Street and south through W. 68th Avenue, a 20” waterline along 68th Avenue from Zuni Street to Fern Drive, a 12” waterline from Fern Drive to Alan Drive, a 20” waterline from 68th Avenue south along Zuni Street to W. 66th Avenue, and various other 4”, 6” and 8” mains

within the Midtown development. The development west of Pecos Street is anticipated to consist of 4", 6" and 8" waterlines within all local public streets. Please refer to Appendix D for a map depicting the existing water infrastructure currently installed.

Water service for the portions of the development east of Pecos Street will be provided by the North Pecos Water and Sanitation District. North Pecos has an existing 12" water main within Pecos Street and an existing 8" water main within W. 68th Avenue east of Pecos Street. The development east of Pecos Street is anticipated to consist of 6", 8" and 12" waterlines within all public streets. Please refer to Appendix D for a map depicting the existing water infrastructure currently installed.

Water mains owned, maintained and operated by the Crestview Water and Sanitation District and North Pecos Water and Sanitation will remain separated. No connection exists or is proposed between the two systems in the area of this development.

Flow Requirements

For the Midtown Filing 12 application the maximum total floor area for the largest single dwelling units is not anticipated to exceed 3,300 square feet, and the largest building will not exceed 6 units and 20,000. Therefore, according to the fire-flow requirements stated in table B105.1 of the International Fire Code a flow rate of at least 3,750 gallons per minute will need to be provided. Per the recently adopted 2018 International Fire Code, all attached units will have fire sprinklers installed.

Please refer to Appendix C for the existing fire flow test information on the adjacent water mains performed by Mountain States Fire Protection and Appendix D for exhibits showing the existing utility layout adjacent to the community. Proposed waterline and fire hydrant locations will be provided during the Final Development Plan submittal process for each phase.

Hydrant Locations

Hydrant locations will be spaced according to the International Fire Code (IFC). Fire hydrants will be provided along fire apparatus access roads and public streets as required by the IFC. For the residential uses being proposed a minimum hydrant spacing of 500 feet is anticipated with a maximum distance of 250 feet of coverage to any point on a street or road frontage in accordance with Table C105.1 of the IFC. (Refer to Water Only sheets in Appendix). Existing hydrants located north of W. 68th Avenue will be considered in determining adequate coverage is provided based on the proposed hydrant spacing. Construction Documents will be submitted during the Final Development Plan submittal process for each phase of development that will illustrate the proposed location and spacing of each hydrant throughout the community.

Construction Type

The maximum height of the single-family homes is outlined in the approved Administrative Agreement / Development Agreement (AADA) for the Midtown at Clear Creek project. The materials used for construction will likely consist of natural or recycled material consistent with a

built-green and sustainable theme throughout the development. This would classify the construction type as either Type IV and/or Type V construction.

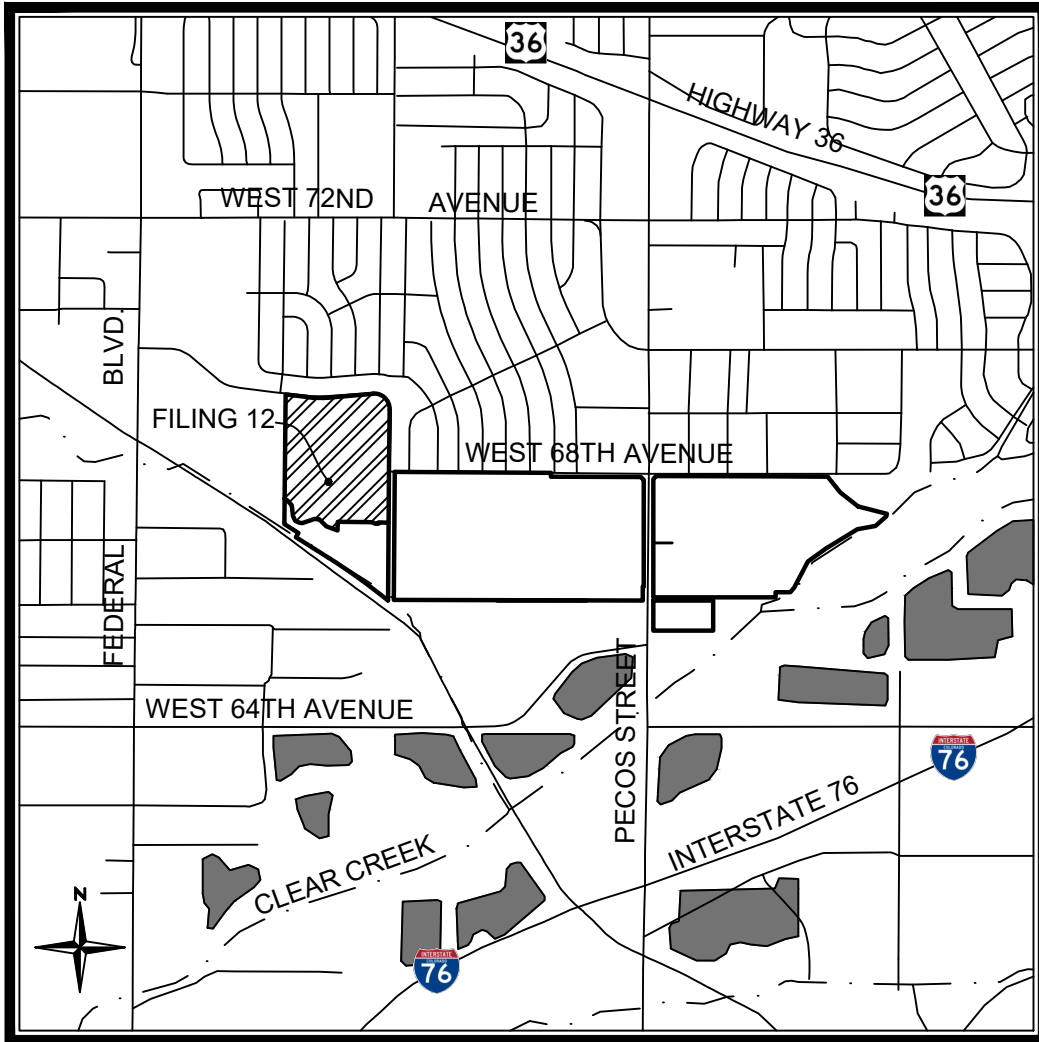
References

REFERENCES

1. *Adams County Design and Technical Criteria, Dated December 8, 2020*
2. *2018 International Fire Code, Dated September 2020*

Appendix A - Vicinity Map

\\RS01\Projects\2010\10015 - Midtown\CADD\Exhibits\10015.23_Vicinity Map Filing_12.dwg tab: VICINITY MAP_Apr.07.2020 - 11:33am erumney



VICINITY MAP

1" = 2000'



VICINITY MAP

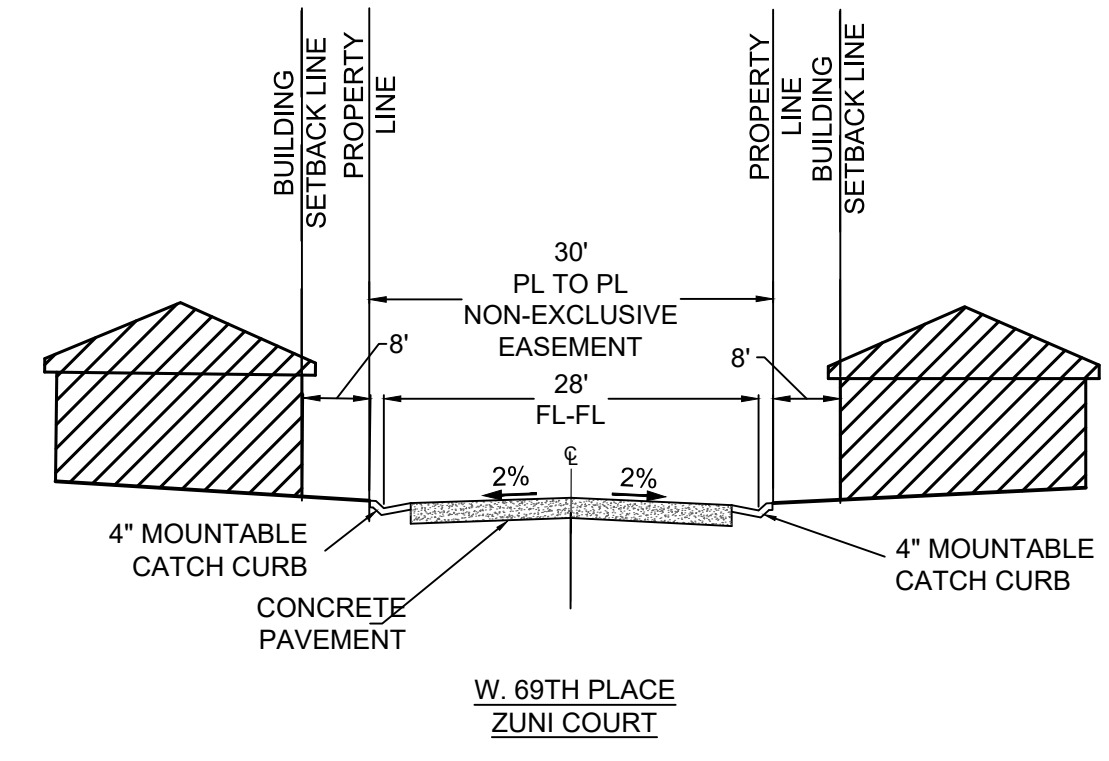
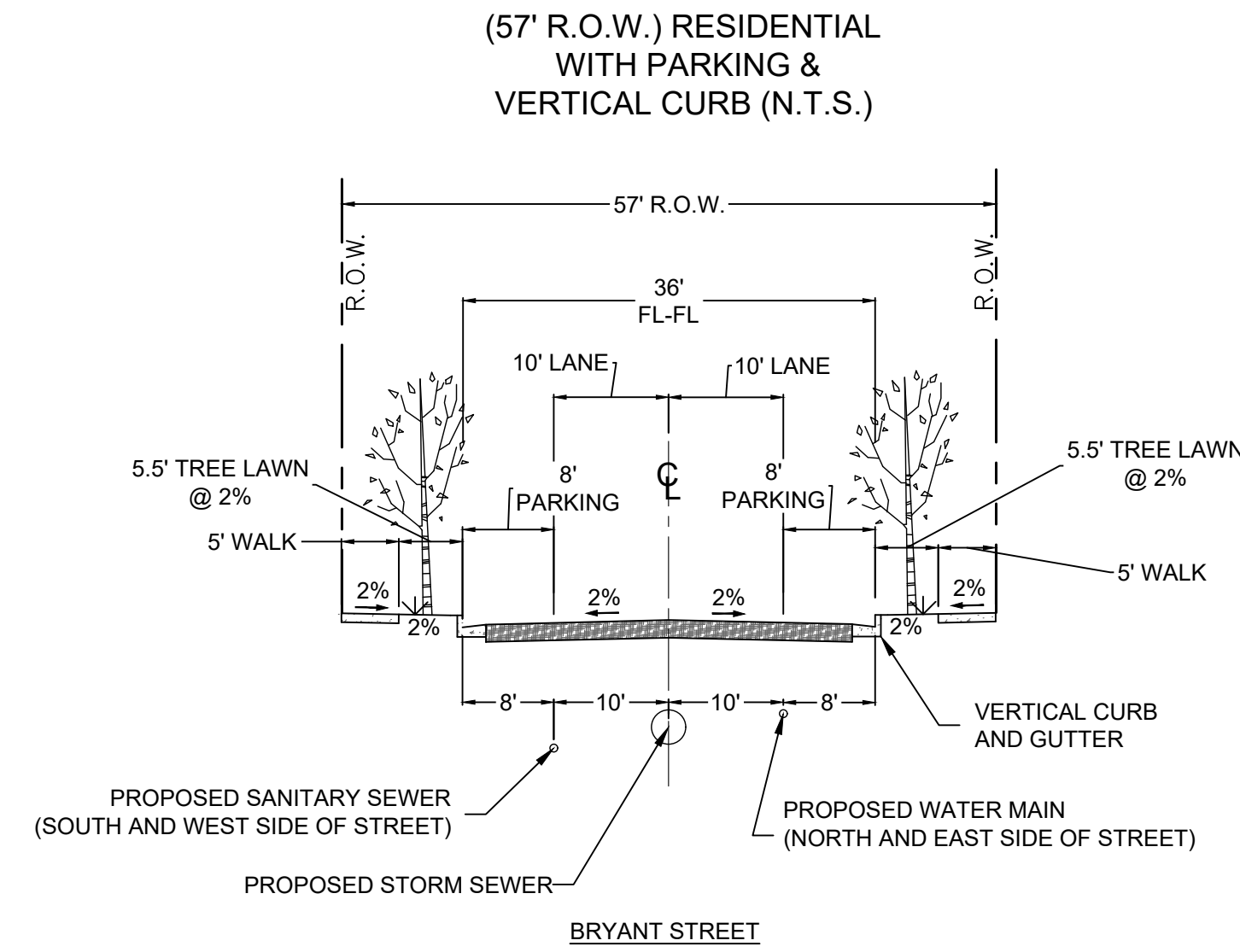
MIDTOWN FILING 12

AT CLEAR CREEK

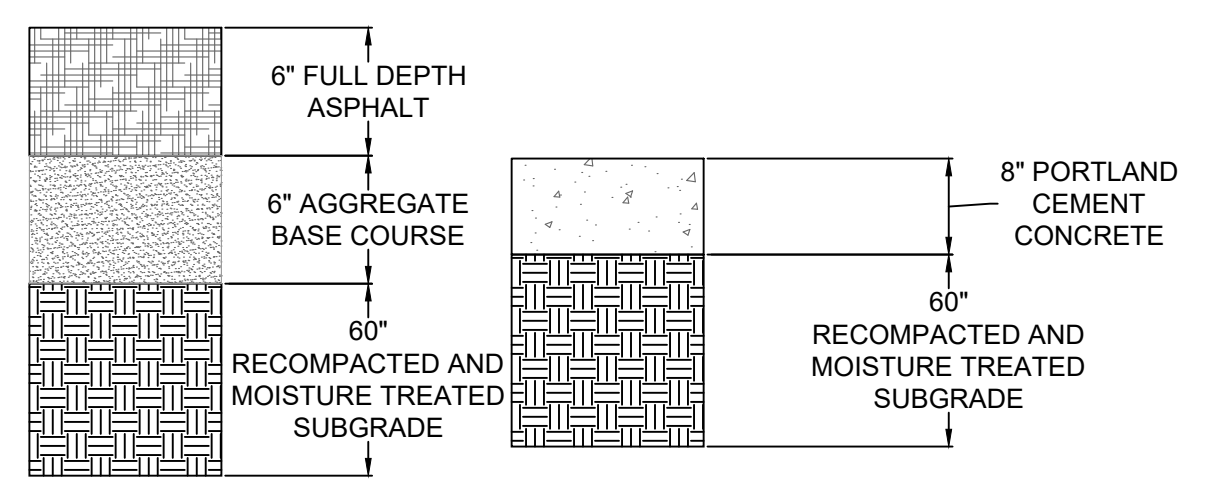
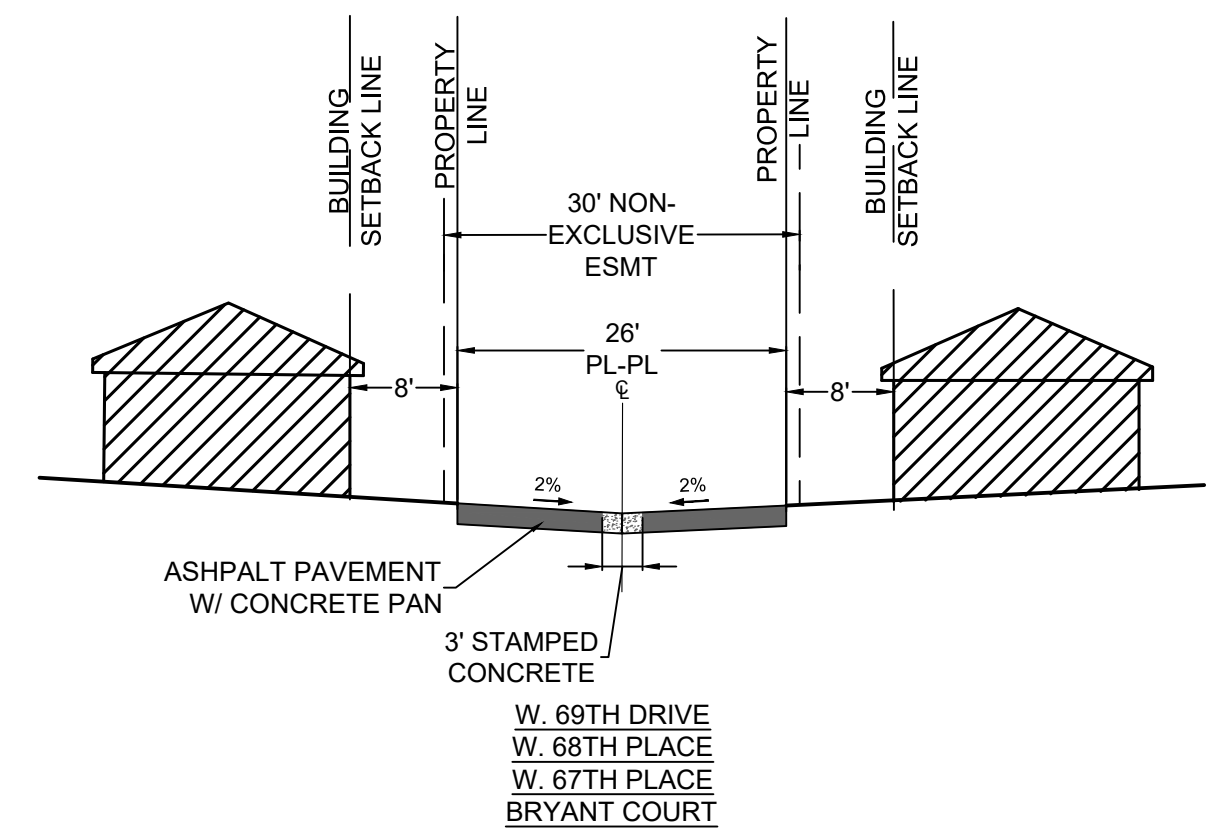
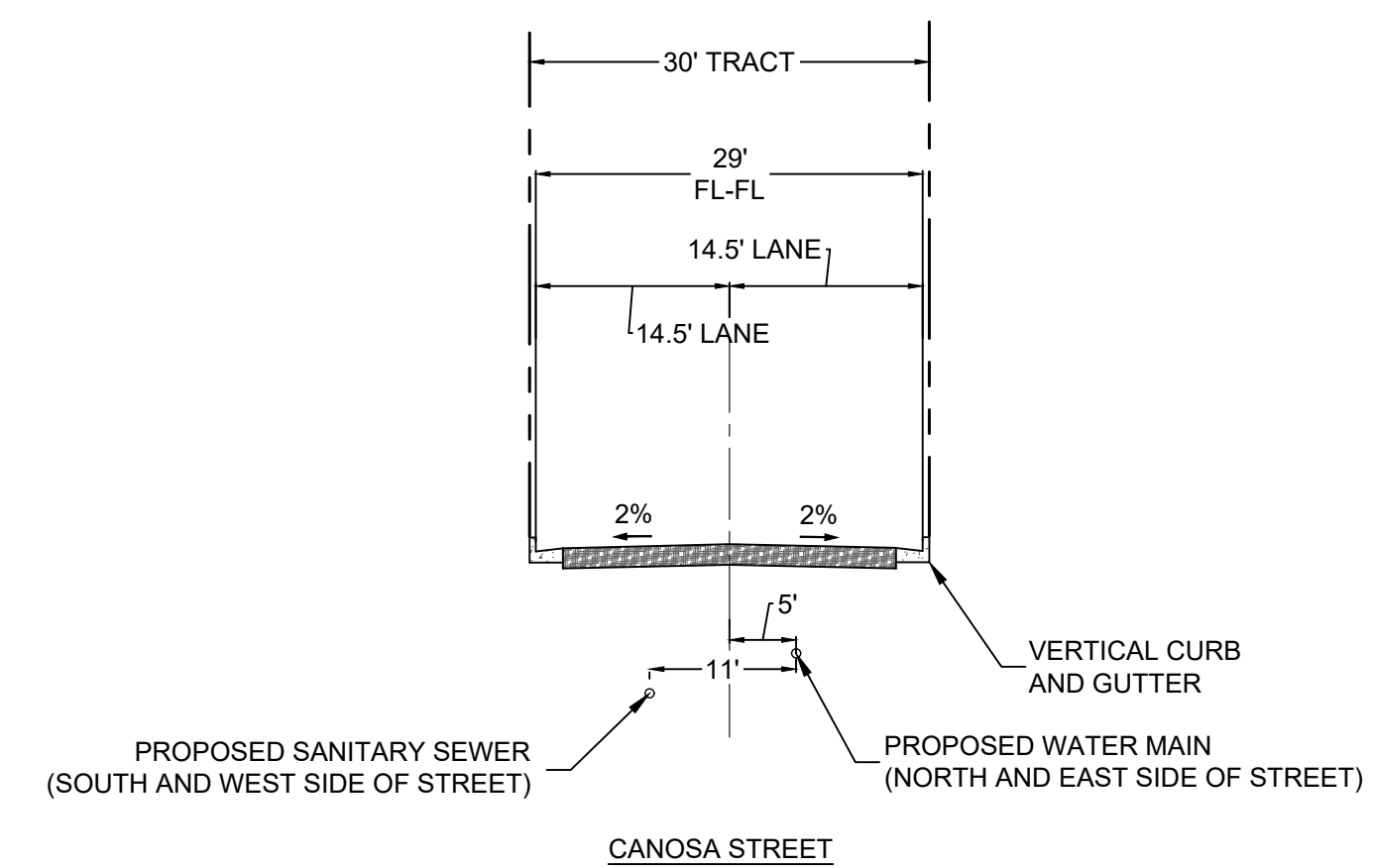
ADAMS COUNTY COLORADO

DATE	03.20.2020
PROJ. NO.	10015.23
SHEET	VIC

Appendix B - Proposed Street Sections

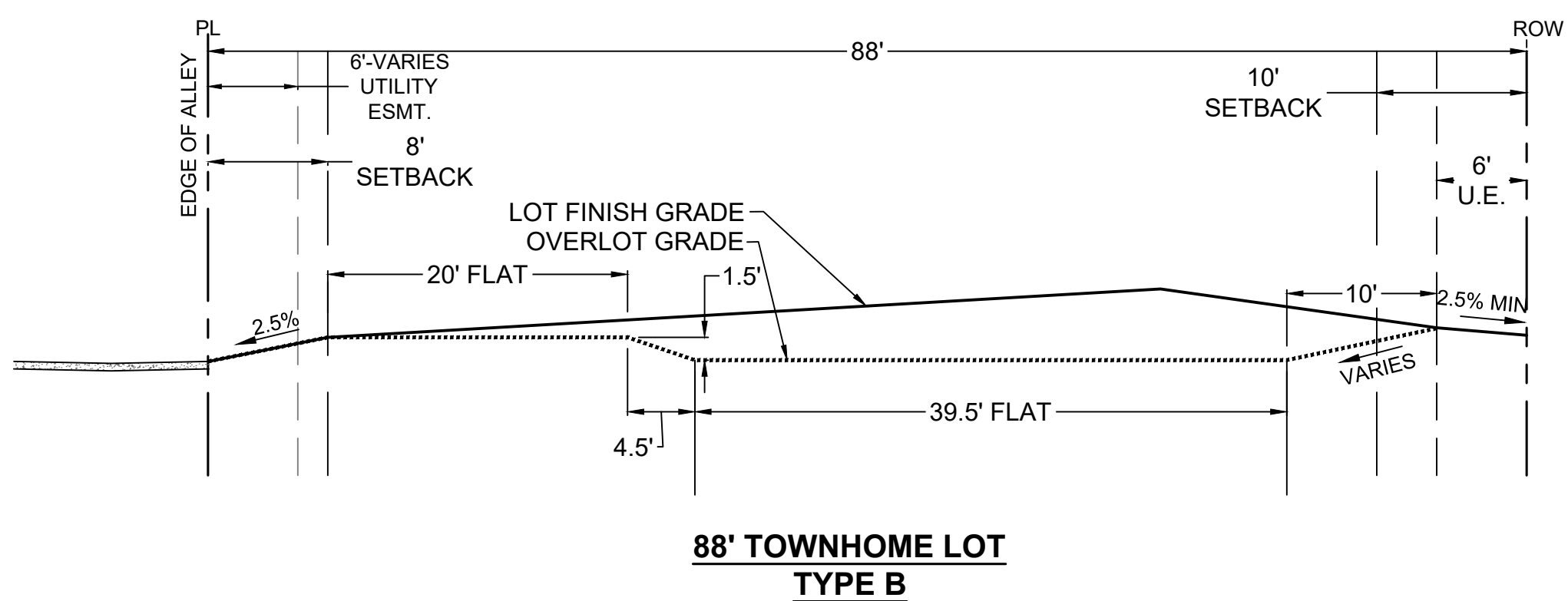


(30' TRACT) RESIDENTIAL VERTICAL CURB (N.T.S.)

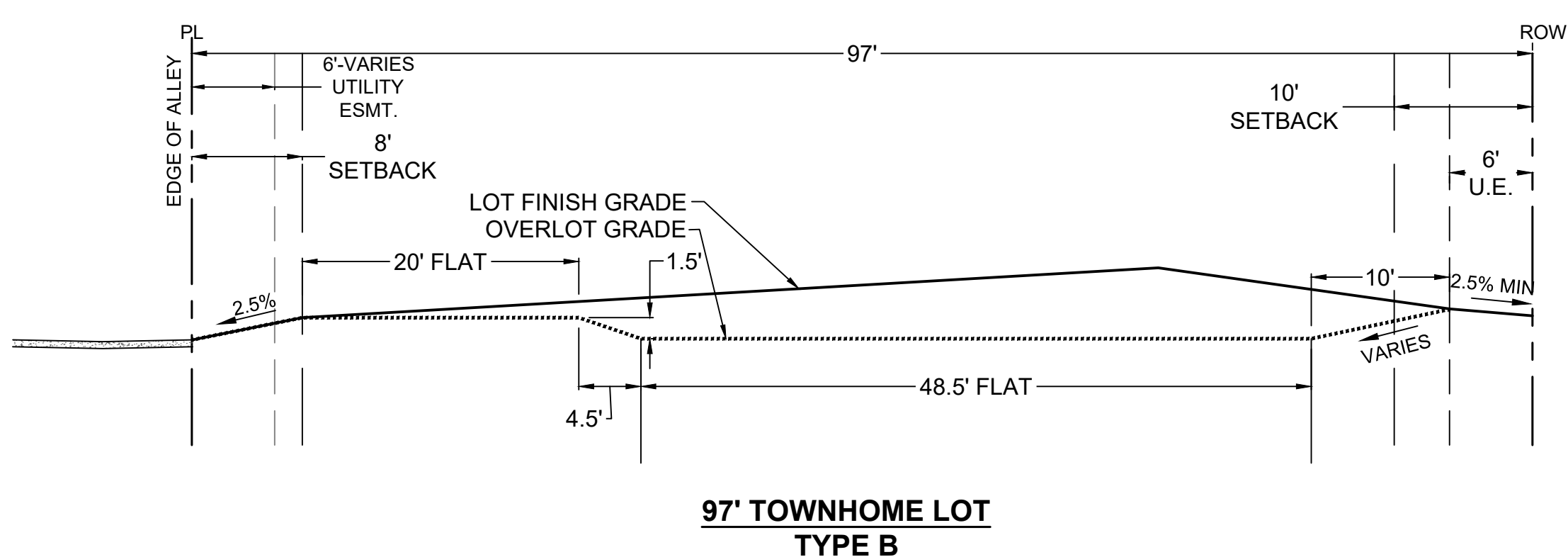


TYPICAL ON-SITE ASPHALT AND CONCRETE PAVEMENT SECTIONS

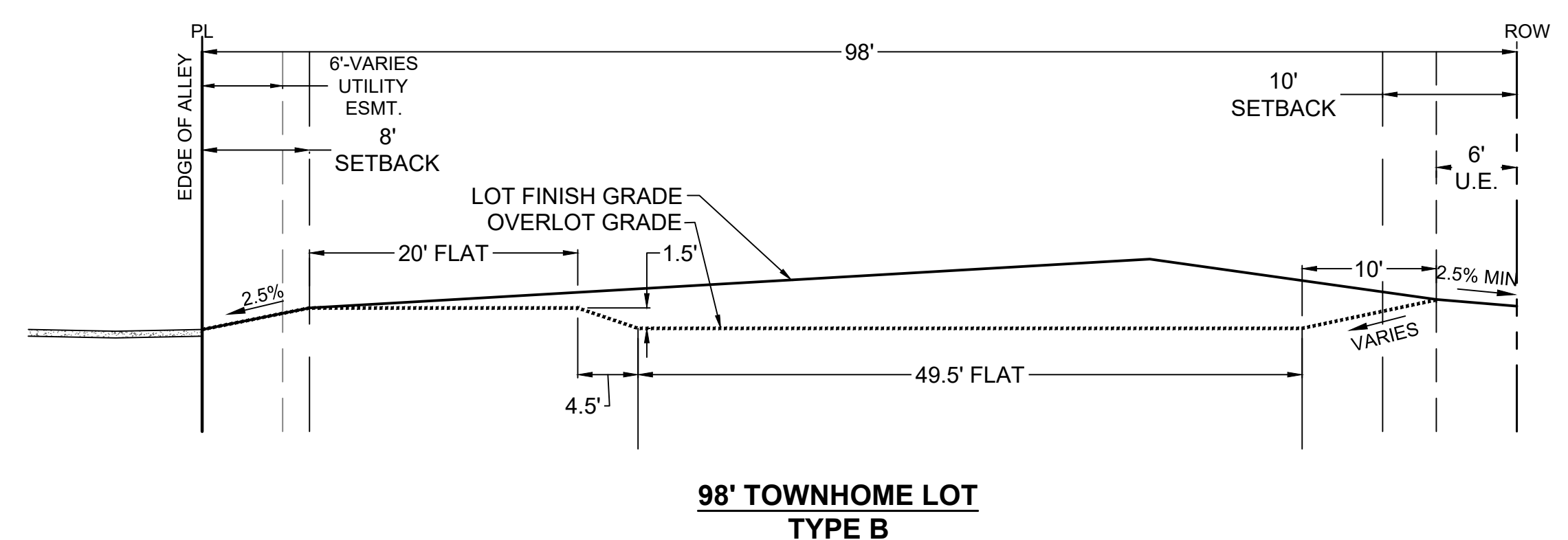
NOTE:
 1) THESE SECTIONS ARE PRELIMINARY AND SUBJECT TO CHANGE. PLEASE REFER TO THE GEOTECHNICAL DUE DILIGENCE STUDY FOR PROPOSED RESIDENTIAL DEVELOPMENT MIDTOWN PLANNING AREA WEST SOUTHWEST OF WEST 70TH AVENUE AND ZUNI STREET PREPARED BY A.G. WASSENAAR DATED DECEMBER 22, 2017. A FINAL PAVEMENT DESIGN REPORT WILL BE PREPARED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER AND, APPROVED BY ADAMS COUNTY, PRIOR TO PAVING OPERATIONS, WHICH COULD CAUSE VARIATIONS IN QUANTITIES.
 2) FOR RECOMPACTED SUBGRADE NEAR EXISTING DISTRICT FACILITIES, CONTACT THE DISTRICT 48 HOURS PRIOR TO WORK BEING PERFORMED.



88' TOWNHOME LOT TYPE B



97' TOWNHOME LOT TYPE B



98' TOWNHOME LOT TYPE B

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DATE	NO.	NOTES	WPC
04/10/2020	1	1ST SUBMITTAL TO ADAMS COUNTY	DRAWN
01/07/2022	2	2ND SUBMITTAL TO ADAMS COUNTY	CHECKED
			APPROVED
			EBR
			PROJECT NO. 10015.23
			HORIZ. SCALE
			VERT. SCALE

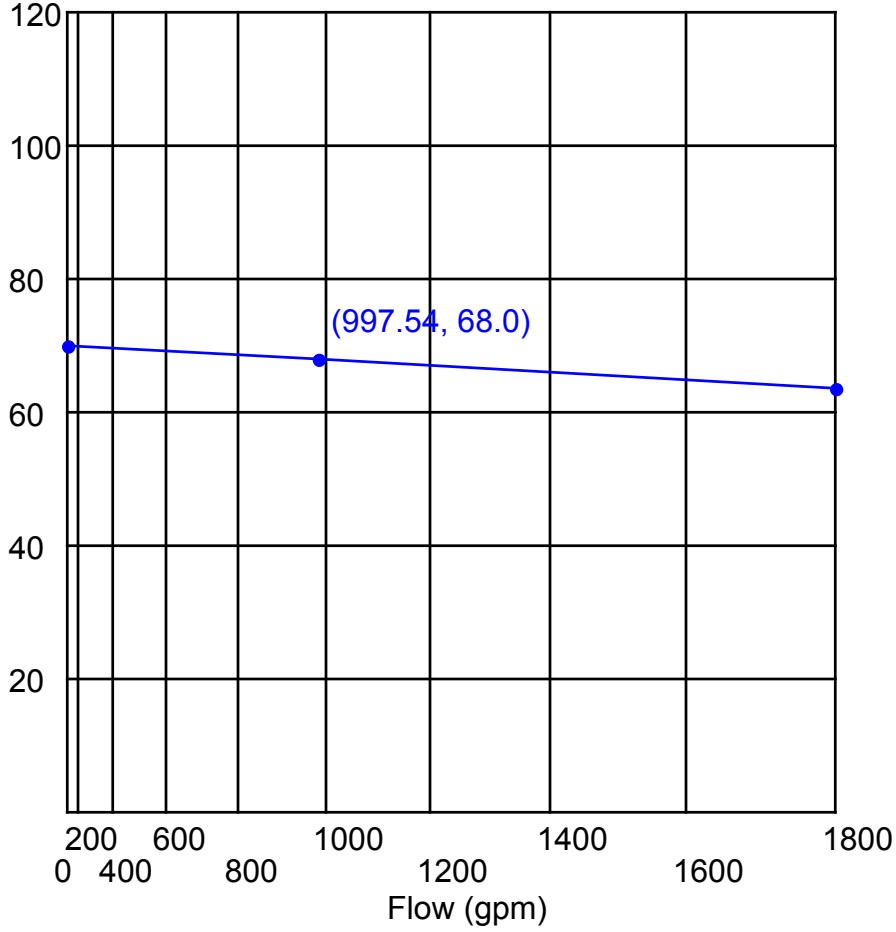
Appendix C - Hydrant Flow Tests

	North Pecos			Crestview Water		
	<u>Hydrant #1</u>	<u>Hydrant #2</u>	<u>Hydrant #3</u>	<u>Hydrant #1</u>	<u>Hydrant #2</u>	<u>Hydrant #3</u>
Date of Test	9/28/2006	9/27/2006	9/28/2006	10/2/2006	10/2/2006	10/2/2006
Time	12:30 PM	1:30 PM	12:00 PM	10:55 AM	10:25 AM	
Flow Hydrants						
Location	N 39° 49.310'	N 39° 49.212'	N 39° 48.775'	N 39° 49.216'	N 39° 42.21'	
	W 105° 00.358'	W 104° 59.942'	W 105° 00.364'	W 105° 00.901'	W 105° 00.473'	
	69th & Pecos St	68th & Santa Fe	64th & Pecos	68th & Jordan	68th & Alan Dr.	
Elevation	5250	5228	5204	5233	5252	
Coefficient of Discharge	0.9	0.9	0.9	0.9	0.9	
Diameter of Outlet	2	2	2	2	2	
Pitot	48	75	65	50	70	
Inside Diameter where gage is attached	2.5	2.5	2.5	2.5	2.5	
Flow	910.1549553	1137.693694	1059.135189	928.9230114	1099.11653	
Length in Feet of Pipe	50	25	50	50	50	
Friction Loss	87.38897905	67.56158132	117.4724109	90.93441117	126.3012972	
Total Flow from Hydrant	<u>997.5439344</u>	<u>1205.255275</u>	<u>1176.6076</u>	<u>1019.857423</u>	<u>1225.417827</u>	
Control Hydrants						
Location	N 39° 49.310'	N 39° 42.208'	N 39° 48.772'	N 39° 49.217'	N 39° 49.21'	
	W 105° 00.287'	W 105° 00.101'	W 105° 00.281'	W 105° 00.79'	W 105° 00.57'	
	69th & Osage St	68th & Mariposa	64th	68th & Fern Dr	68th & Avrum Dr	
Elevation	5252	5268	5198	5261	5255	
Static Pressure	70	75	100	110	112	
Residual Pressure	68	70	90	108	110	

North Pecos - Hydrant #1



Pressure



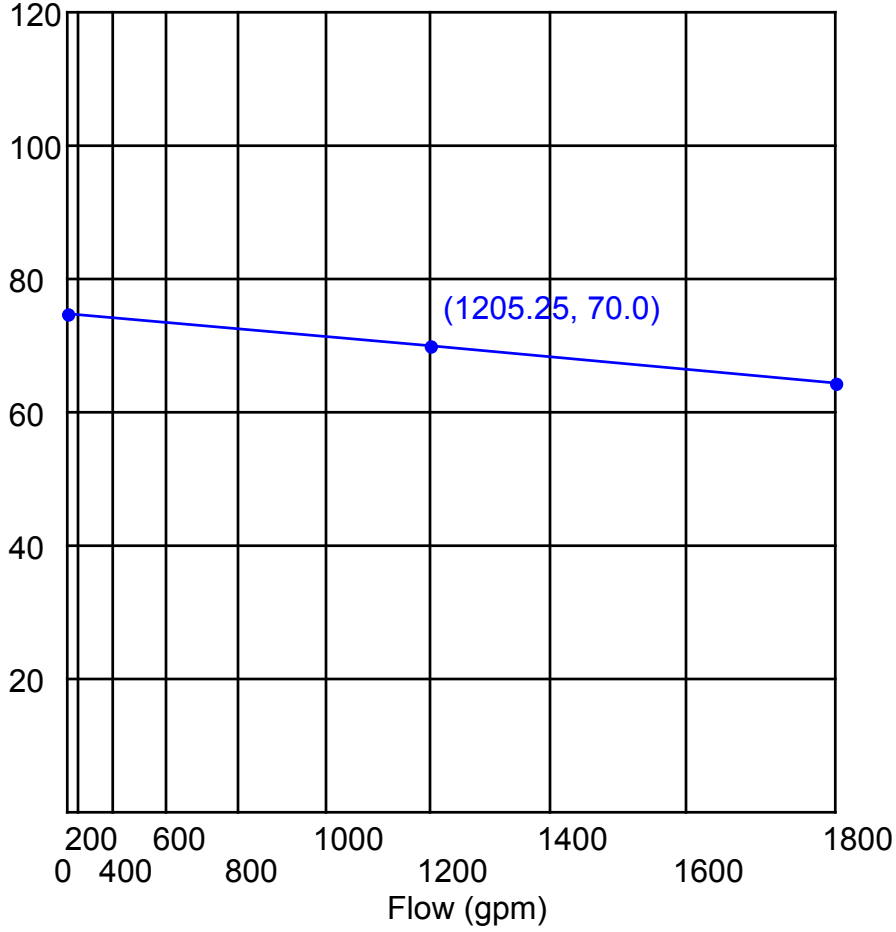
The data here has been created using FlowTest v1.0 and

Mountain States Fire Protection, Inc.
1220 S. Inca St.
Denver, CO 80223
Phone (303)778-8193, Fax (303)778-8205

North Pecos - Hydrant #2



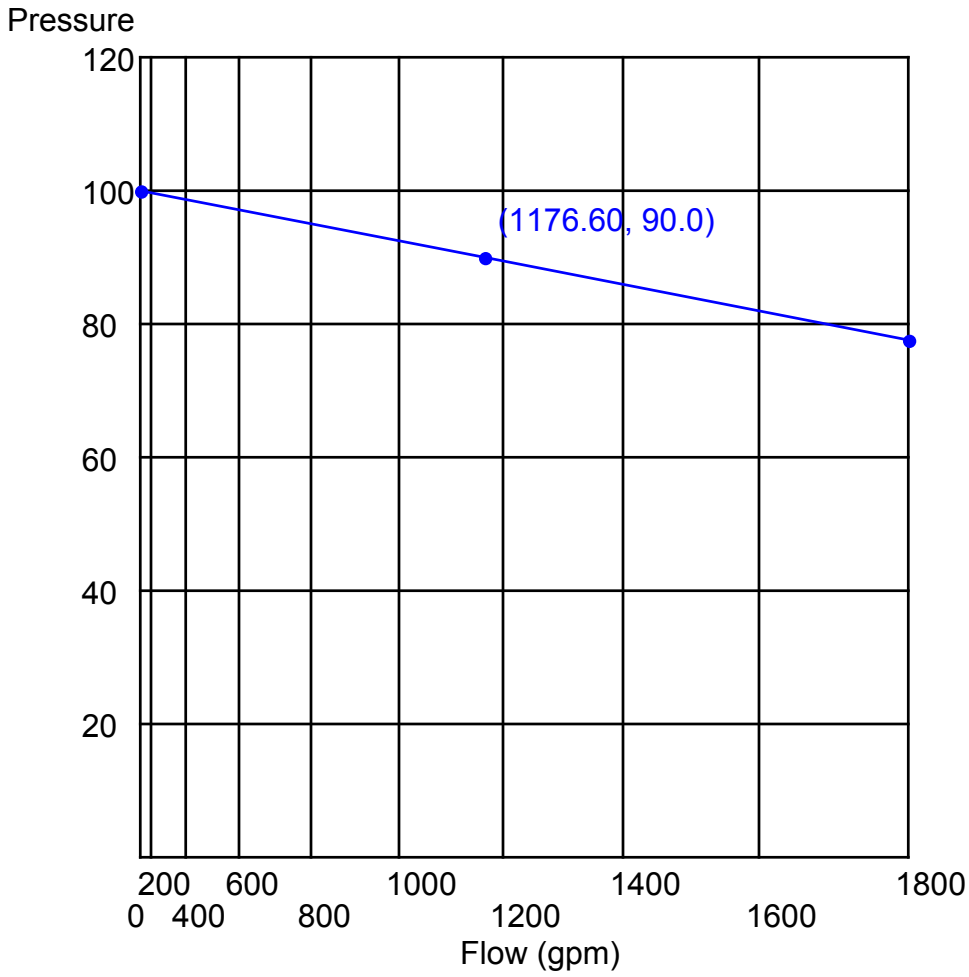
Pressure



The data here has been created using FlowTest v1.0 and

Mountain States Fire Protection, Inc.
1220 S. Inca St.
Denver, CO 80223
Phone (303)778-8193, Fax (303)778-8205

North Pecos - Hydrant #3



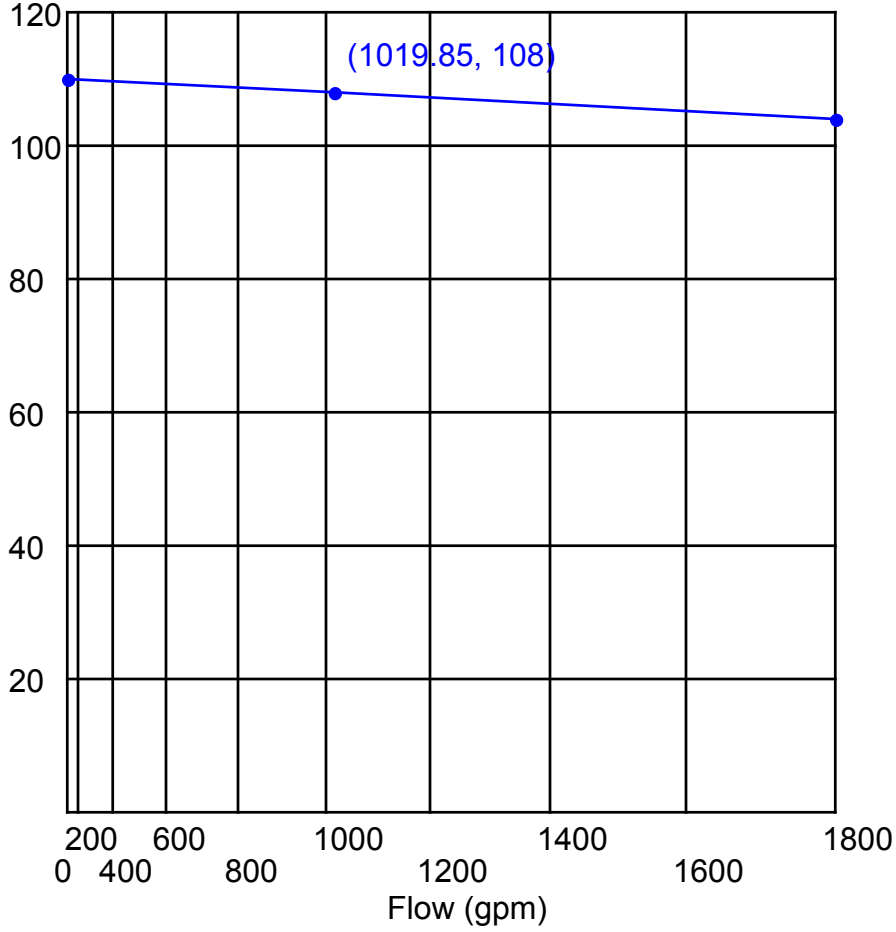
The data here has been created using FlowTest v1.0 and

Mountain States Fire Protection, Inc.
1220 S. Inca St.
Denver, CO 80223
Phone (303)778-8193, Fax (303)778-8205

Crestview - Hydrant #2



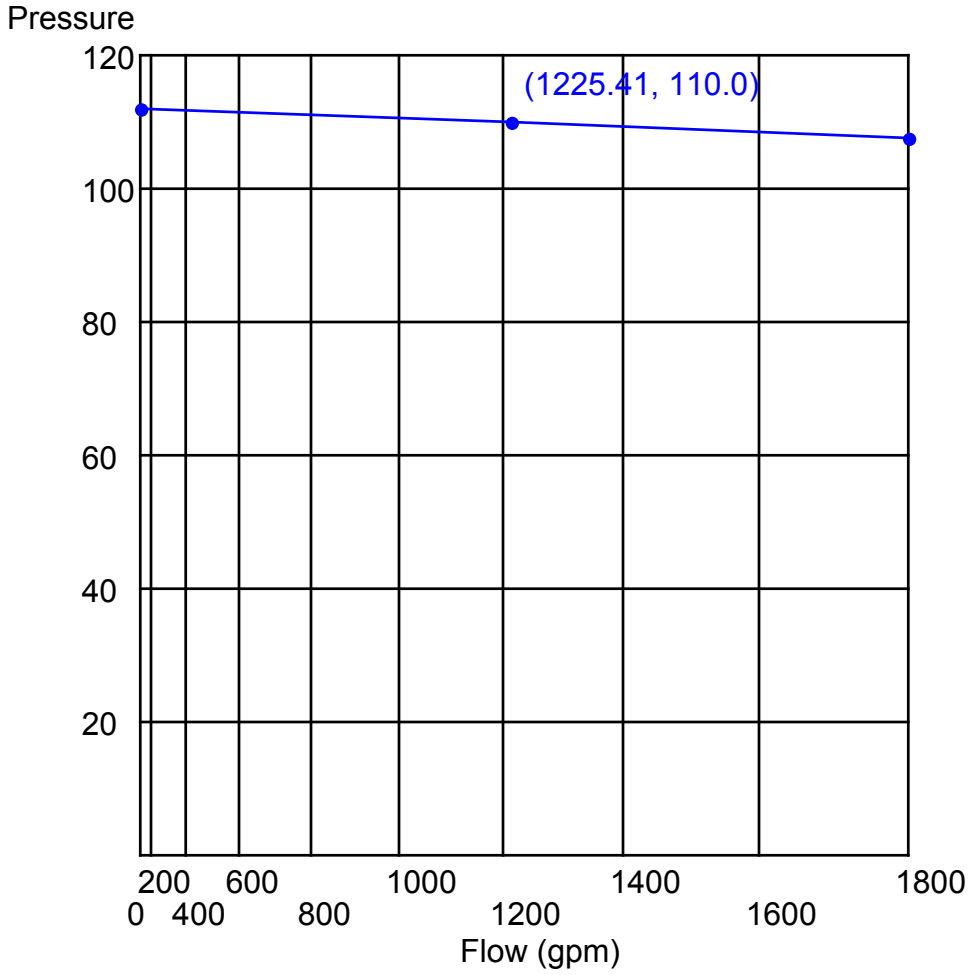
Pressure



The data here has been created using FlowTest v1.0 and

Mountain States Fire Protection, Inc.
1220 S. Inca St.
Denver, CO 80223
Phone (303)778-8193, Fax (303)778-8205

Crestview - Hydrant #3

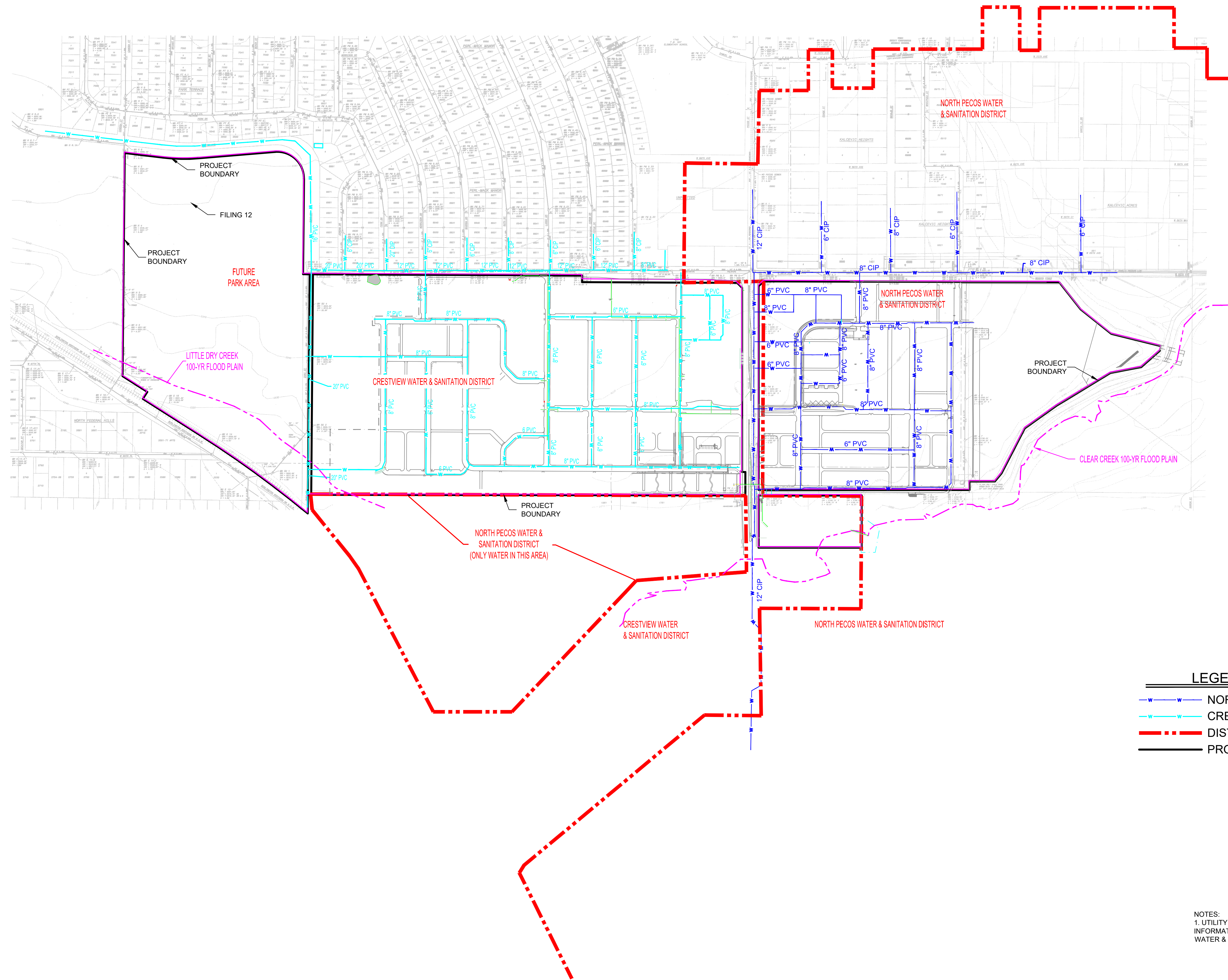


The data here has been created using FlowTest v1.0 and

Mountain States Fire Protection, Inc.
1220 S. Inca St.
Denver, CO 80223
Phone (303)778-8193, Fax (303)778-8205

Appendix D - Existing Utility Layout

I:\2010\10015 - Midtown\CAD\IN\Exhibits\1001517 Filing 11 Existing Water Utility Exhibits.dwg, tab: 24, X: 36, Jan 31, 2022 - 8:07am, erunney



- LEGEND**
- W— NORTH PECOS WATER MAIN
 - W— CRESTVIEW WATER MAIN
 - - - DISTRICT BOUNDARY
 - PROJECT BOUNDARY

NOTES:
 1. UTILITY SIZES SHOWN WERE OBTAINED FROM ATLAS INFORMATION PROVIDED BY THE NORTH PECOS AND CRESTVIEW WATER & SANITATION DISTRICTS.

EXISTING WATER SYSTEM
**MIDTOWN AT CLEAR CREEK
 FILING 11**
 ADAMS COUNTY COLORADO

DATE	NO.	REVISION

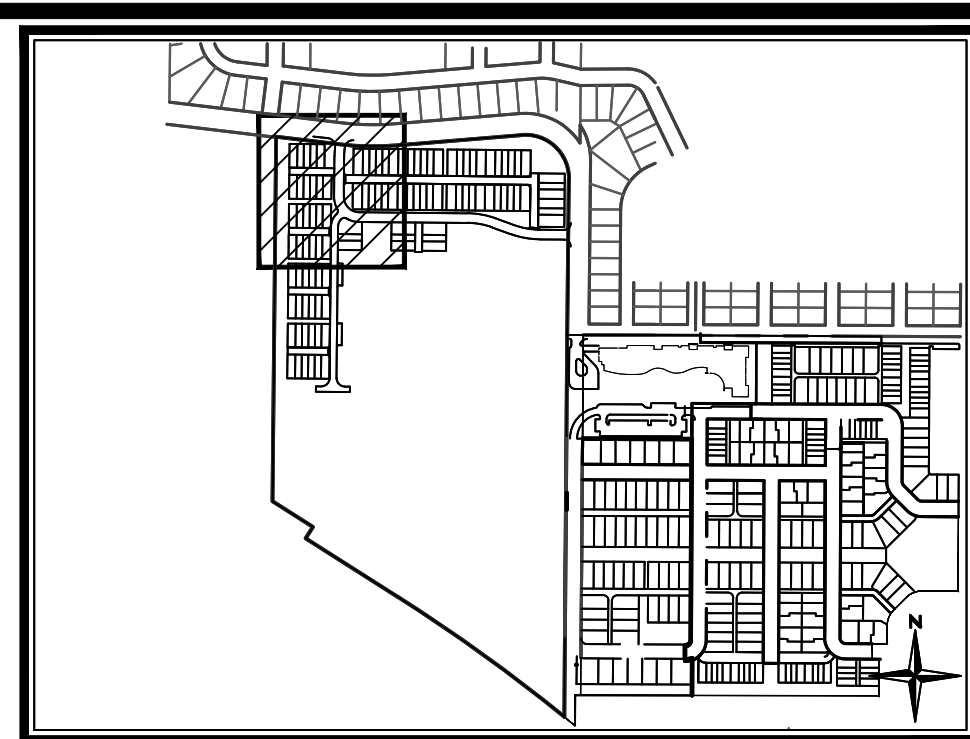
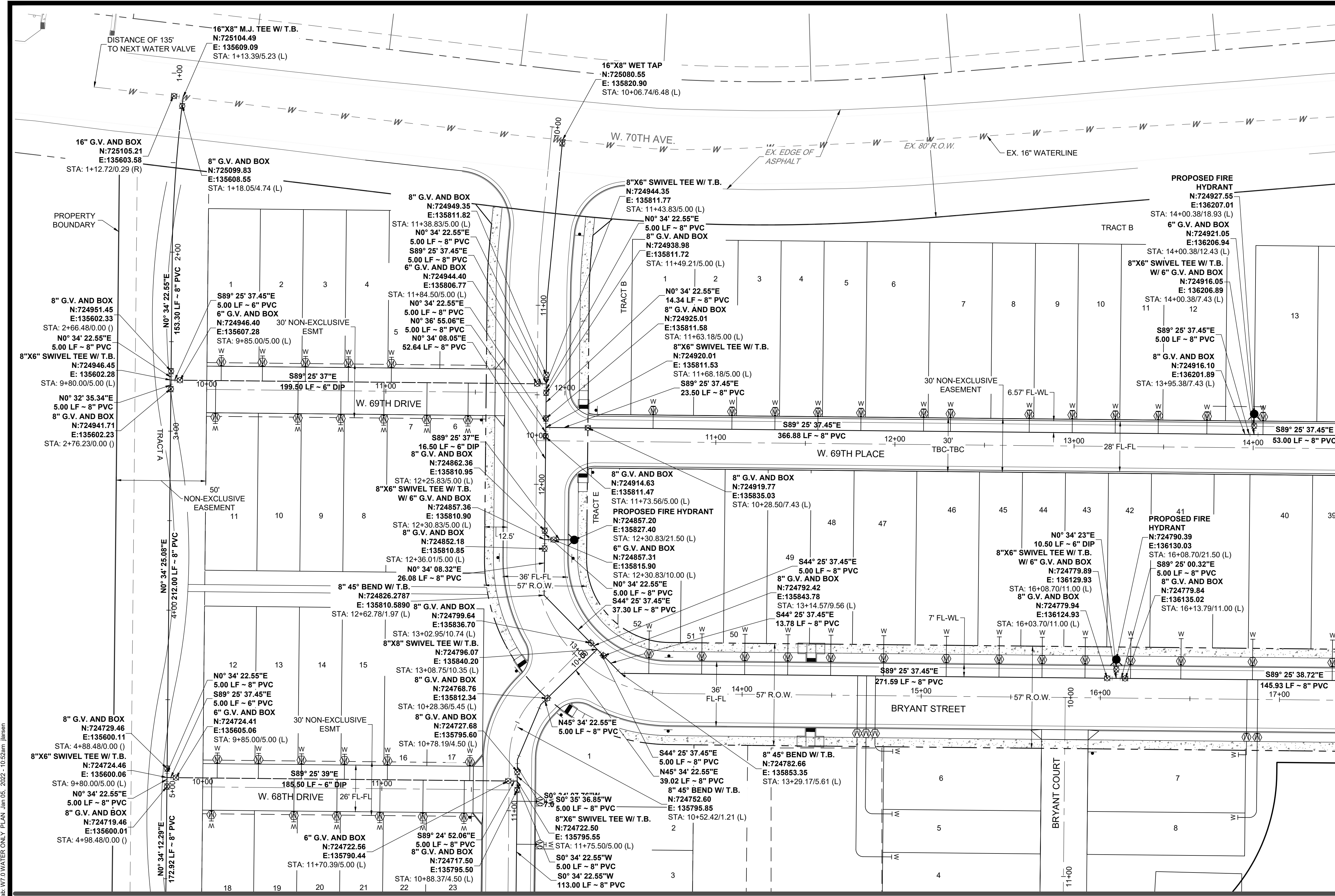
DATE	DRAWN	CHECKED	APPROVED	PROJECT NO.	HORIZ. SCALE	VERT. SCALE
09/14/2018	AKD	MTP	MTP	10015.9	1" = 300'	N/A



Redland
 WHERE GREAT PLACES BEGIN
 720.283.6783 Office
 720.283.6783 Cell
 Littleton, Colorado 80120
 REDLAND.COM

EX 1

Appendix E - Water Only Sheets



DRAWN	WFC
CHECKED	MTP
APPROVED	EBR
PROJECT NO.	10015.23
HORIZ. SCALE	1"=30'
VERT. SCALE	N/A

DATE	NO.	NOTES
04/10/2020	1	1ST SUBMITTAL TO ADAMS COUNTY

DATE	NO.	NOTES
04/10/2020	1	1ST SUBMITTAL TO ADAMS COUNTY

NOTES:

- PLEASE REFER TO THE FOLLOWING PAGES OF DENVER WATER'S 16TH EDITION OF ENGINEERING STANDARD DETAILS:
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 - SHEET 353 - TYPICAL TRENCH SECTION
 - SHEET 505 - PLAN, PROFILE, & LOCATION FOR FIRE HYDRANTS, MAINS AND VALVES
 - SHEET 513 - TRACER WIRE INSTALLATION FOR PVC WATER MAIN
 - SHEET 509 - STORM AND SANITARY CROSSING
 - SHEET 43 - CONCRETE KICKBLOCKS SURFACES AND INSTALLATION
 - SHEET 47 - CONCRETE KICKBLOCK REQUIREMENTS
 - SHEET 493-494 - STUD NUT TIGHTENING SEQUENCE
 - SHEET 495 - LENGTH OF RESTRAINED PIPE
 - SHEET 491 - FLANGE LUG DETAIL
 - SHEET 456 - VALVE OPERATION
 - SHEET 519 - GENERAL METER AND SERVICE NOTES
 - SHEET 523 - 3/4" & 1" SERVICE LINE, STOP BOX, AND OUTSIDE METER INSTALLATION
 - SHEET 529 - OUTSIDE SETTING FOR 3/4" & 1" METER
 - SHEET 158 - POLYETHYLENE WRAP ON PIPE & AT TAP INSTALLATION
 - SHEET 161 - INSULATED FLANGED JOINTS, RODS, & BOLTED SLEEVE TYPE COUPLINGS
 - SHEET 179 - DUCTILE IRON PIPE JOINT BONDING

- WATER MAIN LENGTHS ARE FROM CENTER OF FITTING TO CENTER OF FITTING UNLESS OTHERWISE NOTED.
- FOR WATER IMPROVEMENTS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE LATEST EDITION OF DENVER WATER ENGINEERING STANDARDS AND NORTH PECOS WATER & SEWER DISTRICT STANDARDS PRIOR TO CONSTRUCTION, AND KEEPING THE CONSTRUCTION PLANS AND THE ENGINEERING STANDARDS ON THE JOB SITE AT ALL TIMES.
- ALL WATER LINES SHALL BE RESTRAINED, REGARDLESS OF SIZE AND MATERIAL, AND HAVE A MINIMUM BURY DEPTH OF 4.5' TO THE TOP OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET W9.1 FOR TYPICAL SERVICE DETAIL AND LOCATIONS
- WATER STEM EXTENSIONS WILL NOT BE PERMITTED. ALL GATE VALVES MUST BE INSTALLED AT DEPTHS THAT CAN BE REACHED WITH A STANDARD 8.0" VALVE KEY.
- GATE VALVES MUST BE RESTRAINED (ACCORDING TO DENVER WATER SHEET 21) ON EACH SIDE OF ALL INLINE GATE VALVES

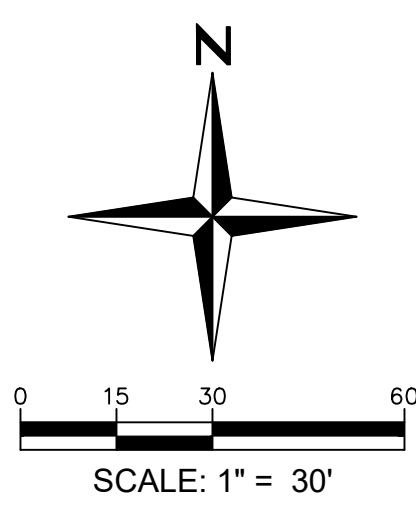
- ALL VALVES AND FITTINGS MUST BE POLY WRAPPED
- IRRIGATION BFPAs ARE REQUIRED TO BE INSTALLED 5-FEET DOWNSTREAM FROM THE METER.
- BACKFLOW DEVICE IS REQUIRED ON ALL SERVICE LINES AND MUST BE AN USC FCCCH APPROVED BACKFLOW PREVENTION ASSEMBLY (RP) IS TO BE INSTALLED ON THE DOMESTIC WATER SERVICE LINE 5' MAX DOWNSTREAM FROM THE METER PIT OR IMMEDIATELY UPON ENTRY INTO A HEATED PART OF THE BUILDING 5' MAX FROM WALL OR FLOOR OF EACH BUILDING. TYPE OF BACKFLOW DEVICE REQUIRED MAY BE FOUND IN THE DENVER WATER ENGINEERING STANDARDS CHAPTER 5 SECTION 5.05: CROSS CONNECTION CONTROL AND BACKFLOW PREVENTION.
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- A SOIL AMENDMENT IS REQUIRED FOR ALL NEW WATER SERVICES C.O. WILL NOT BE ISSUED WITHOUT A SOIL INSPECTION BY DENVER WATER.
- WATER MAIN AND FITTINGS SHALL BE STAKED USING THE

- CENTERLINE STATIONING SHOWN ON THE FILING 5 CONSTRUCTION PLANS. PLAN STATIONING SHALL MATCH CONSTRUCTION STAKING
- ALL SERVICE LINES REQUIRE PRVs
- ALL GATE VALVES SHALL BE DIRECTLY ATTACHED TO THE TEE OR CROSS WITH AN ANCHOR COUPLING OR FOSTER ADAPTER UNLESS OTHERWISE NOTED.
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- ALL DIP (DUCTILE IRON PIPE) MUST BE CLASS 52 OR EQUIVALENT.
- ALL PVC (POLYVINYLCHLORIDE) MUST BE CLASS 200 OR EQUIVALENT. THIS INCLUDES ALL SIZES.
- THE DISTRICT PRIMARILY USES MUELLER FIRE HYDRANTS MODEL 423.
- ALL WATER SERVICE TAPS ARE 3/4"

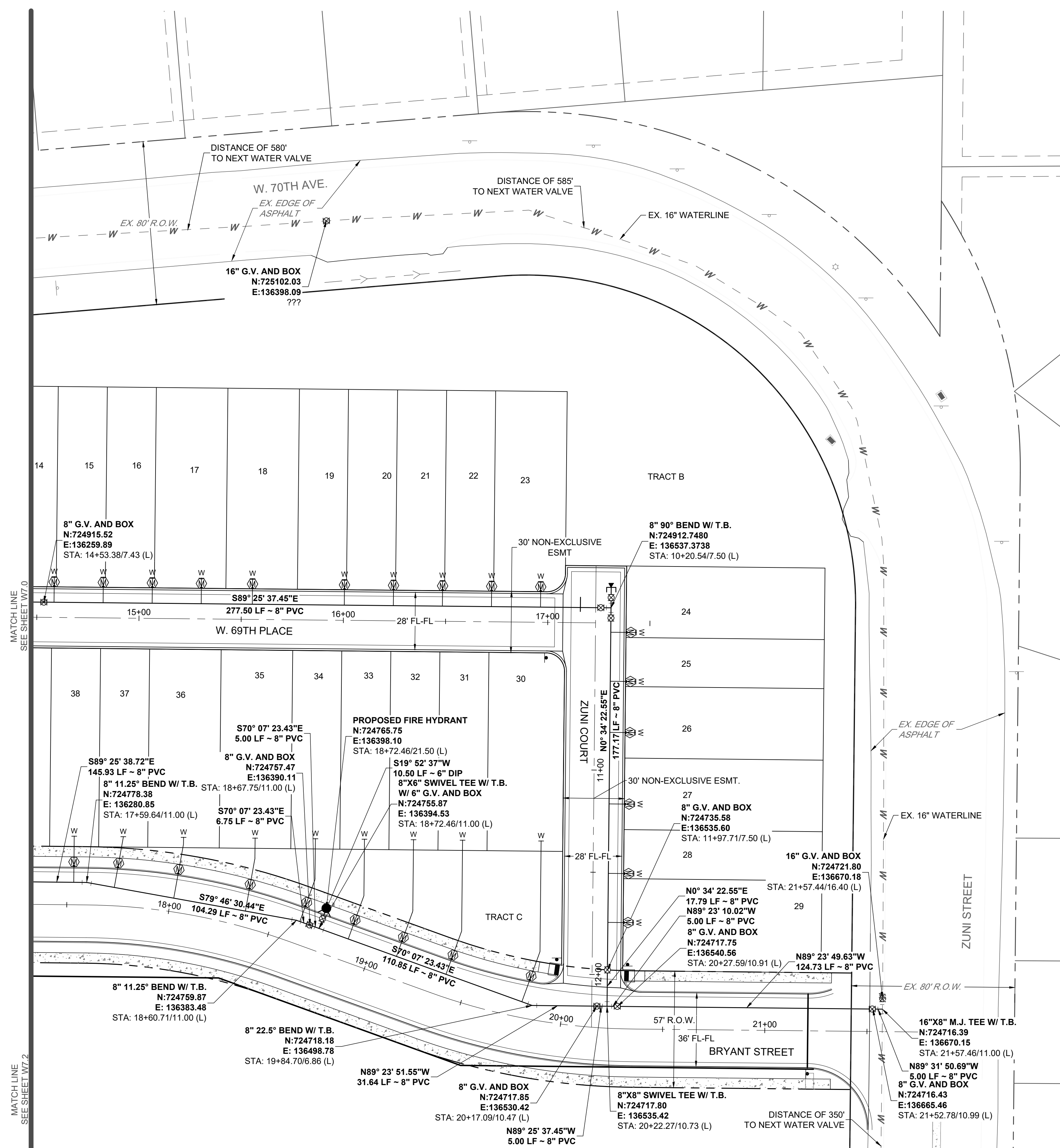
- CONTRACTOR TO INCLUDE ALL WATER SERVICES IN BID, CONTRACTOR MUST COORDINATE AND SCHEDULE TAPS WITH DENVER WATER DURING CONSTRUCTION.
- ALL LOTS WITHIN FILING 12 ARE ATTACHED TOWNHOMES AND REQUIRE AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM PER NFPA 13D REQUIREMENTS.
- "EXOThERMIC WELD A 48-POUND HIGH POTENTIAL MAGNESIUM ANODE TO DI PIPE, INCLUDING HYDRANT BRANCH LINES AND FIRE LINES. CENTER THE ANODE BETWEEN THE TAP AND TEH HYDRANT/PROPERTY LINE VALVE. INSTALL ANODES IN ACCORDANCE WITH CAPITAL PROJECTS CONSTRUCTION STANDARDS SECTION 12 47 15 - GALVANIC CATHODIC PROTECTION AND STANDARD DETAIL 13025 - ANODE INSTALLATION. BOND ALL JOINTS IN ACCORDANCE WITH STANDARD DETAIL 13080 - DUCTILE IRON PIPE JOINT BONDING.
- CONNECTING TO THE EXISTING 16" WATERMAIN IN W. 70TH AVE. AND ZUNI STREET MUST BE DONE OUTSIDE OF THE IRRIGATION SEASON BETWEEN OCTOBER TO MARCH.

BENCHMARK DESCRIPTION

ADAMS COUNTY GPS CONTROL STATION 0226
3-1/4" CDOT ALUMINUM CAP STAMPED "4.070000 GPS 34 ZBS PLS 11434". LOCATED AT NORTHWEST CORNER WEST 70TH & BROADWAY.
ELEVATION = 5169.25 (NAVD 88)



I:\2010\0015 - Midtown Water Plans\W7.0 DENVER WATER PLAN.dwg, tab: W7.1 WATER ONLY PLAN, Jan 05, 2022, 10:53am, jansen

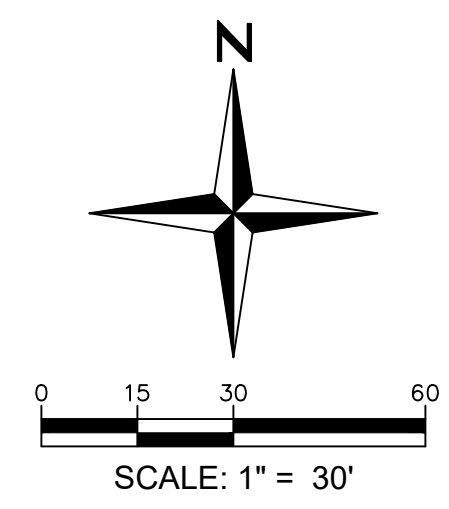


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 - SHEET 169 - EXOTHERMIC WELD PROTECTION
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 - CPCS DETAIL 13025 - ANODE INSTALLATION
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CONSTRUCTION STAKING

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- THE DISTRICT PRIMARILY USES MUELLER FIRE HYDRANTS MODEL 423.
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- CONTRACTOR TO INCLUDE ALL WATER SERVICES IN BID, CONTRACTOR MUST COORDINATE AND SCHEDULE TAPS WITH DENVER WATER DURING CONSTRUCTION.
- ALL LOTS WITHIN FILING 12 ARE ATTACHED TOWNHOMES.
- "EXOTHERMIC WELD A 48-POUND HIGH POTENTIAL MAGNESIUM ANODE TO DI PIPE, INCLUDING HYDRANT BRANCH LINES AND FIRE LINES. CENTER THE ANODE BETWEEN THE TAP AND TEH HYDRANT/PROPERTY LINE VALVE. INSTALL ANODES IN ACCORDANCE WITH CAPITAL PROJECTS CONSTRUCTION STANDARDS SECTION 12.47.15 - GALVANIC CATHODIC PROTECTION AND JOINT AND STANDARD DETAIL 13025 - ANODE INSTALLATION. BOND ALL JOINTS IN ACCORDANCE WITH STANDARD DETAIL 13080 - DUCTILE IRON PIPE JOINT BONDING.



BENCHMARK DESCRIPTION	
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3-1/4" CDOT ALUMINUM CAP STAMPED "4.070000 GPS 34 ZBS PLS 11434". LOCATED AT NORTHWEST CORNER WEST 70TH & BROADWAY.	
ELEVATION = 5169.25 (NAVD 88)	



DATE	NO.	NOTES
04/12/2020	1	1ST SUBMITTAL TO ADAMS COUNTY

DRAWN	WPC
CHECKED	MTP
APPROVED	EBR
PROJECT NO.	10015.23
HORIZ. SCALE	1"=30'
VERT. SCALE	N/A

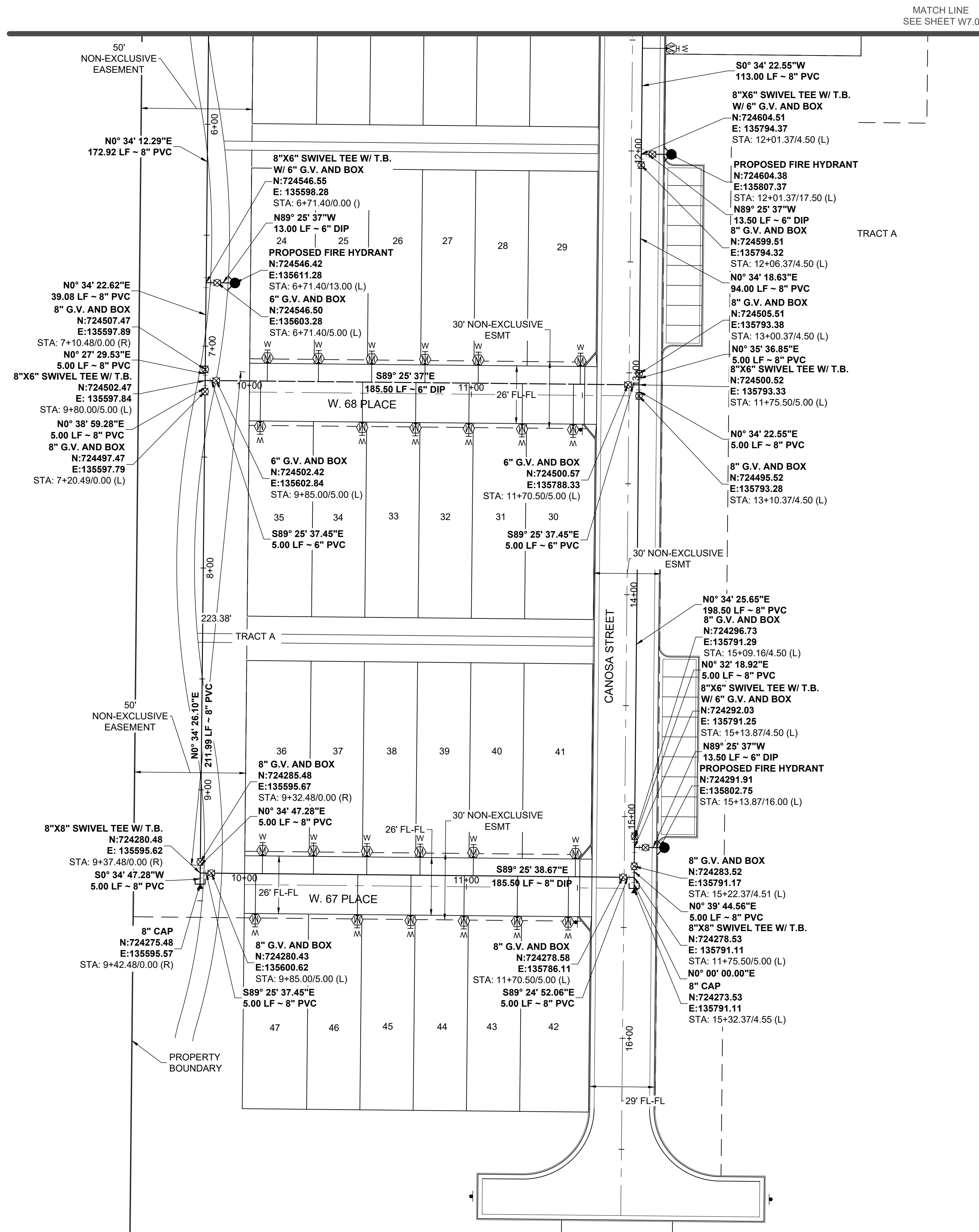
MIDTOWN FILING NO. 12

WATER-ONLY PLANS

WATER ONLY PLAN

W7.1

I:\2010\0015 - Midtown Water Plans\W7.0 DENVER WATER PLAN.dwg, tbb: W7.2 WATER ONLY PLAN, Jan 05, 2023, 10:53am, jansen

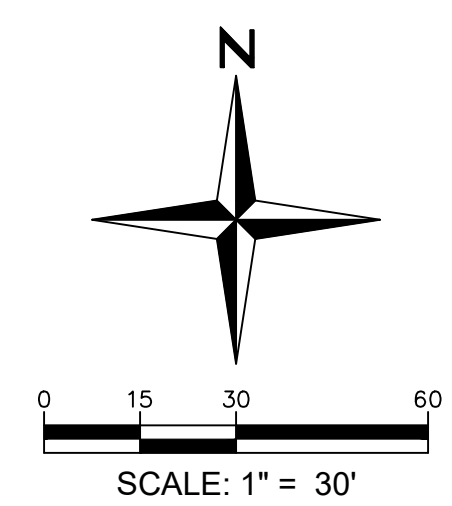
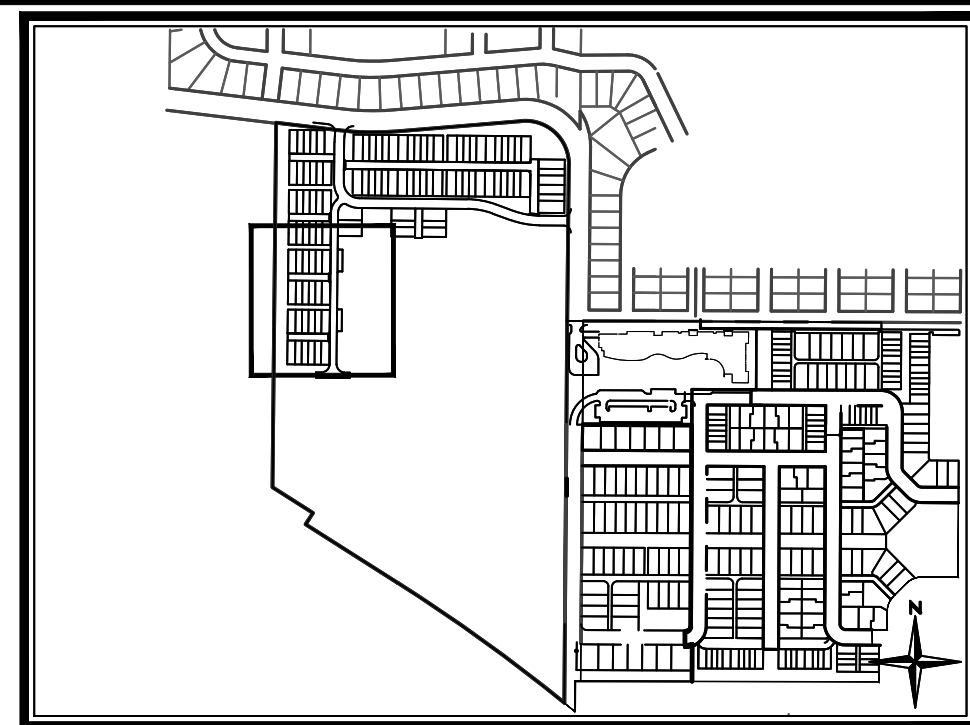


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- THE DISTRICT PRIMARILY USES MUELLER FIRE HYDRANTS MODEL 423.
- ALL WATER SERVICE TAPS ARE 1".
- CONTRACTOR TO INCLUDE ALL WATER SERVICES IN BID. CONTRACTOR MUST COORDINATE AND SCHEDULE TAPS WITH DENVER WATER DURING CONSTRUCTION.
- ALL LOTS WITHIN FILING 12 ARE ATTACHED TOWNHOMES.

27. EXOTHERMIC WELD A 48-POUND HIGH POTENTIAL MAGNESIUM ANODE TO DI PIPE, INCLUDING HYDRANT BRANCH LINES AND FIRE LINES. CENTER THE ANODE BETWEEN THE TAP AND TEH HYDRANT/PROPERTY LINE VALVE. INSTALL ANODES IN ACCORDANCE WITH CAPTIAL PROJECTS CONSTRUCTION STANDARDS SECTION 12.47 15- GALVANIC CATHODIC PROTECTION AND STANDARD DETAIL 13025 - ANODE INSTALLATION. BOND ALL JOINTS IN ACCORDANCE WITH STANDARD DETAIL 13080 - DUCTILE IRON PIPE JOINT BONDING.



BENCHMARK DESCRIPTION	
ADAMS COUNTY GPS CONTROL STATION 0226	3-1/4" CDOT ALUMINUM CAP STAMPED "4.070000 GPS 34 ZBS PLS 11434". LOCATED AT NORTHWEST CORNER WEST 70TH & BROADWAY.
ELEVATION = 5169.25 (NAVD 88)	

Redland
WHERE GREAT PLACES BEGIN
720.283.6783 Office
Littleton, Colorado 80120
REDLAND.COM

DATE	NO.	NOTES	WPC
04/10/2020	1	1ST SUBMITTAL TO ADAMS COUNTY	

DRAWN	WPC	CHECKED	MTP	APPROVED	EBR	PROJECT NO.	10015.23	HORIZ. SCALE	1"=30'	VERT. SCALE	N/A

MIDTOWN FILING NO. 12
WATER-ONLY PLANS
WATER ONLY PLAN
SHEET
W7.2



CRESTVIEW WATER & SANITATION DISTRICT

Mike Pietschmann
300 E. Mineral Ave. Suite 2
Littleton, CO 80122

March 11, 2020

RE: Water and Sanitary Sewer Service, 6701 Zuni Street
Will Serve Letter

To Whom it May Concern:

Please be advised that Crestview Water and Sanitation District is willing to provide treated water and sanitary sewer service to the Midtown at Clear Creek development on the parcel no. 0182505409011 with the address of 6701 Zuni Street in Adams County, Colorado that is wholly within the Crestview Water and Sanitation District boundaries.

It will be necessary for the landowner/developer to install adequate water and sanitary sewer mains in accordance with District Rules and Regulations and engineering requirements. The land owner/developer is responsible for all engineering studies and plan development/review costs. All water and sewer mains and appurtenances shall be installed at the land owner/developer's expense and deeded free and clear to the District prior to the issuance of any water or sewer taps.

Current connection fees can be provided by contacting our office. Any water and/or sewer services must be approved by Crestview and connected to the appropriate main lines and installed into its permanent structure's foundation prior to completion of the construction of said structure.

If you have any questions or require additional information, please contact our office.

Sincerely,

CRESTVIEW WATER AND SANITATION DISTRICT

A handwritten signature in black ink that reads "Mitchell T. Terry". The signature is written in a cursive style.

Mitchell T. Terry
District Manager

LEGAL DESCRIPTION

Lot 1, Block 4 of Midtown at Clear Creek Filing No. 6.



5460 W. 60th Ave.
Arvada, CO. 80003

April 15, 2011

Brookfield Residential
Attn: Nolan Donley
188 Inverness Drive West
Suite 150
Englewood, Co 80112

Re: Will serve letter for **Midtown at Clear Creek**

Dear **Mr. Donley**,

In accordance with our tariffs filed with and approved by the Colorado Public Utilities Commission, Gas and Electric facilities can be made available to serve your project at W. 68th Ave. & Pecos St.

Service will be provided after engineering is completed, payment is received, any easements are signed and construction can be completed. We will have better information available after design has been completed as to a scheduled in-service date.

If I can be of further assistance, please contact me at 303-425-3870.

Sincerely,

Barbara Everard

Barbara Everard
Planner
NMR